



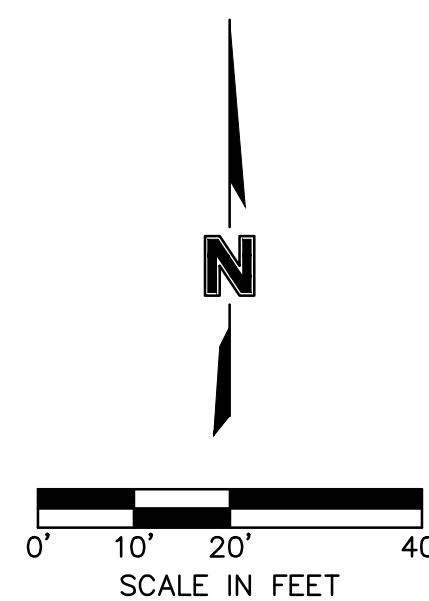


DEMOLITION LEGEND

- | | |
|---------------------------------------------------------------------------------------|---------------------------|
|  | CONCRETE PAVEMENT REMOVAL |
|  | ASPHALT PAVEMENT REMOVAL |
|  | REMOVE CURB |
|  | SAWCUT FULL DEPTH |



DEMOLITION KEYNOTE LEGEND

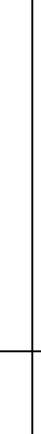

- ① EXISTING MENU BOARD TO BE REMOVED
- ② EXISTING SPEAKER BOX & OVERHEAD CANOPY TO BE REMOVED
- ③ EXISTING PULL FORWARD SIGN ON MOBILE BASE TO REMAIN
- ④ EXISTING MOBILE ORDER SIGN ON MOBILE BASE TO REMAIN
- ⑤ EXISTING PAVEMENT MARKING TO BE REMOVED
- ⑥ EXISTING GATEWAY TO REMAIN
- ⑦ EXISTING AIR CONDITIONING UNIT TO BE RELOCATED COORDINATE WITH OWNER/OPERATOR

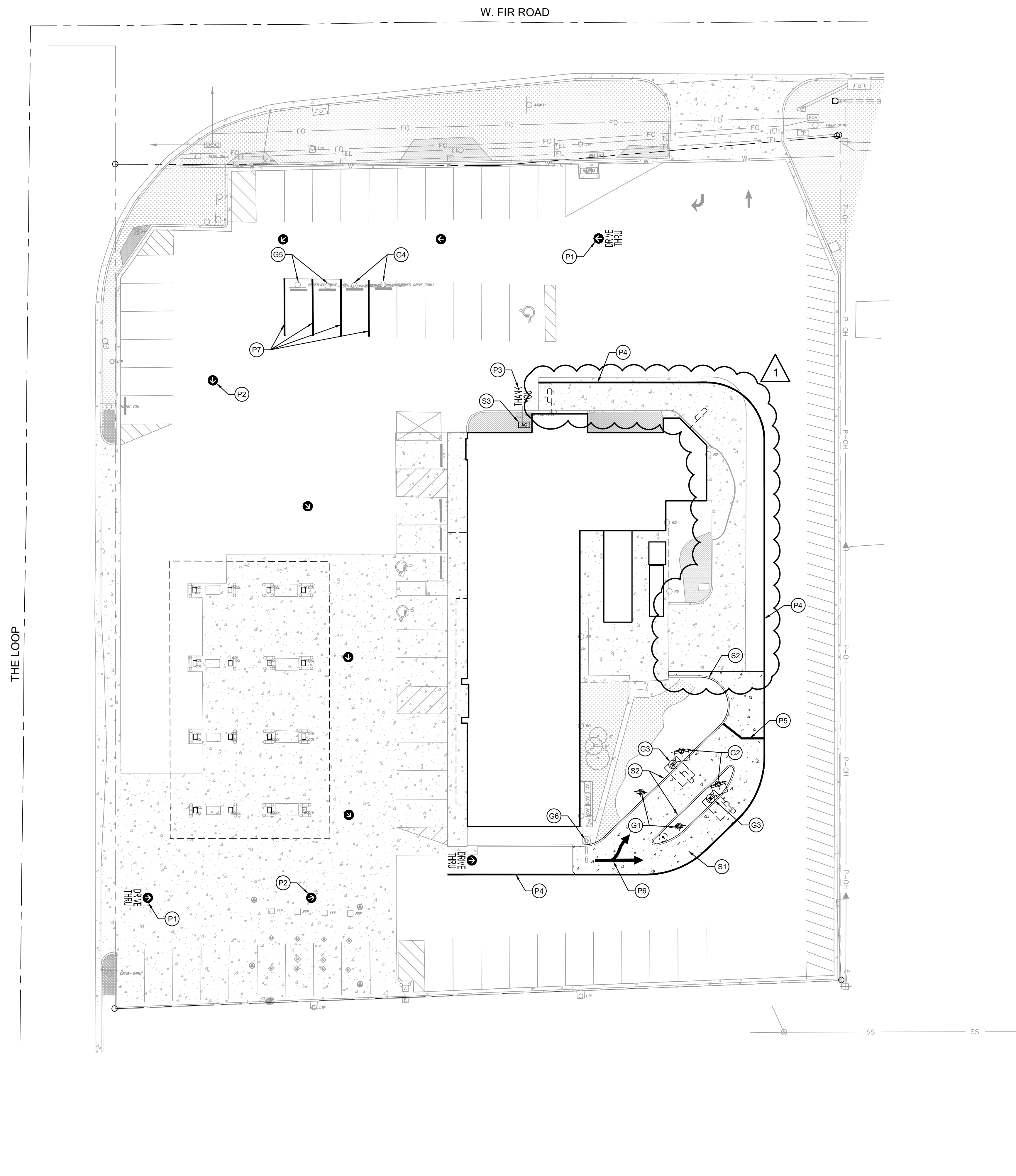
EXISTING CONDITIONS

1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THEIR OWN INVESTIGATIONS AND MAKING THEIR OWN ASSUMPTIONS REGARDING SITE SURFACE AND SUBSURFACE CONDITIONS. THIS INCLUDES THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES THAT MAY AFFECT THE ABILITY TO CONSTRUCT FROM THESE PLANS AS DESIGNED.
3. EXISTING CONDITIONS WERE DETERMINED THROUGH A VARIETY OF METHODS THAT MAY INCLUDE SURVEY, AERIAL IMAGERY, AVAILABLE RECORDS, GIS DATA, ETC. SUBSURFACE CONDITIONS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES AND OTHER SITE IMPROVEMENTS PRESENT ON SITE. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS WHEN CONFLICTS AND DISCREPANCIES ARE FOUND.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT-OF-WAY AND FOR DAMAGED IMPROVEMENTS. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE CITY'S AND OWNER'S SATISFACTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO REPAIR ALL EXISTING DISTURBED AREAS DURING GRADING ACTIVITIES TO ORIGINAL OR BETTER CONDITION.
5. THE CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITY NOTIFICATION CENTER FOR THE STATE THAT THE WORK IS BEING PERFORMED AND HAVE ALL THE UTILITIES MARKED AND PROVIDE NOTIFICATION OF THE COMMENCEMENT OF WORK.
6. ALL JOINTS WHERE NEW PAVEMENT ADJOINS EXISTING PAVEMENT SHALL BE SAW CUT, TO ENSURE A STRAIGHT CLEAN LINE, OR WILL BE CARRIED TO THE NEXT JOINT WHEN THE EXISTING PANEL WILL BE LESS THAN HALF ORIGINAL WIDTH.

DEMOLITION NOTES

1. DEMO SITE PER LIMITS SHOWN & REMOVE ALL CONCRETE & ASPHALT.
2. ENCLOSE THE ENTIRE SITE OR THE PORTION DETERMINED SUFFICIENT TO ACCOMMODATE CONSTRUCTION OPERATIONS. INSTALL IN A MANNER THAT WILL PREVENT PEOPLE FROM EASILY ENTERING THE SITE.
3. THERE SHALL BE NO DEMOLITION ACTIVITIES OR EQUIPMENT WITHIN THE DRIP LINE OF TREES THAT ARE SHOWN TO REMAIN OR BE PROTECTED.
4. CONTRACTOR SHALL LOCATE AND INSPECT EXISTING CONDUITS FOR THE EXISTING MENU BOARDS. REMOVE AND REPLACE AS NECESSARY FOR NEW MENU BOARD INSTALLATION.
5. CONTRACTOR SHALL LOCATE AND PROTECT ANY IRRIGATION EQUIPMENT IN THE AREAS OF DEMOLITION. ANY DAMAGED IRRIGATION EQUIPMENT SHALL BE REPAIRED OR REPLACED.

SHEET NO.	TITLE		DRAWN BY A/JK	PREPARED FOR:		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>1</td><td>01.14.20</td><td>REVISED SITE LAYOUT PER CLIENT</td></tr><tr><td></td><td>11.15.19</td><td>ISSUED FOR PERMIT REVIEW</td></tr><tr><td></td><td>10.24.19</td><td>ISSUED FOR BRAND REVIEW</td></tr><tr><td></td><td></td><td>BY</td></tr></table>	REV	DATE	DESCRIPTION	1	01.14.20	REVISED SITE LAYOUT PER CLIENT		11.15.19	ISSUED FOR PERMIT REVIEW		10.24.19	ISSUED FOR BRAND REVIEW			BY
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024-0661.00.0	DEMOLITION PLAN		STU ISSUE DATE	 McDonald's USA, LLC © 2019 McDonald's USA, LLC These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents were prepared without written authorization. No part of these drawings may be reproduced for use on this specific site in conjunction with its issue date and are for reference only. These drawings for reference or example on another project requires the service of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.																	
C1.0	DESCRIPTION	REVIEWED BY MB	DATE ISSUED 11/15/19	Olsson Olsson Engineering 309 S 4th Street, Suite 110 Manhattan, Kansas 66502 TEL 785.526.6509 FAX 785.539.6801 www.olsosn.com																	
	McDONALD'S MRP - SMALL TOWN OIL CARTRIDGE, MISSOURI!																				
	SITE ID	SITE ADDRESS																			
	024-0661	2812 HAZEL AVENUE, CARTRIDGE, MISSOURI																			



SITE PLAN NOTES

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB, OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT, UNLESS OTHERWISE NOTED.
2. INSTALLED PAVEMENT SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS.
INSTALLED CURB & GUTTER SHALL MATCH EXISTING CURB & GUTTER IN SIZE AND TYPE OR CONTRACTOR SHALL INCLUDE A TRANSITION FROM NEW TO EXISTING OF NO LESS THAN 5' AS MEASURED ALONG BACK OF CURB.
3. ALL PCC PAVING SHALL BE IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. WHERE NOT COVERED BY THE ABOVE, PCC PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MISSOURI DEPARTMENT OF TRANSPORTATION.
4. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS:
 - A. CONTROL JOINTS SPACED AS SHOWN IN THESE PLANS OR AT INTERVALS NOT GREATER THAN 1.5x PANEL WIDTH OR 12 FEET (WHICHEVER IS SMALLER).
 - B. CONTROL JOINTS SHALL BE TOOLED OR SAWCUT TO 1/4 THE SLAB THICKNESS. LOCAL STANDARDS AND SPECIFICATIONS SHALL TAKE PRECEDENCE WHERE MORE STRICT THAN THOSE LISTED HERE.
 - C. CONSTRUCTION JOINTS PLACED AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.
 - D. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NON-EXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.
 - E. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
5. CURB JOINTS SHALL BE CONSTRUCTED AS FOLLOWS:
 - A. PLACE 3/4" NON-EXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD AT 200' INTERVALS, AT BEGINNING AND END OF ALL RADII, AND AT STRUCTURES.
 - B. CONSTRUCTION JOINTS SPACED AT INTERVALS NOT GREATER THAN 10 FEET, SAWED TO 1/4 THE SLAB THICKNESS.
6. CONTRACTOR SHALL INSTALL CONDUIT AND WIRING FOR MENU BOARDS PER DIAGRAMS 3 & 4 ON SHEET ODMB.

SITE KEYNOTE LEGEND

- (S1) CONSTRUCT CONCRETE PAVEMENT
- (S2) CONSTRUCT CONCRETE CURB & GUTTER
- (S3) RELOCATED AIR CONDITIONING UNIT
COORDINATE WITH OWNER/OPERATOR

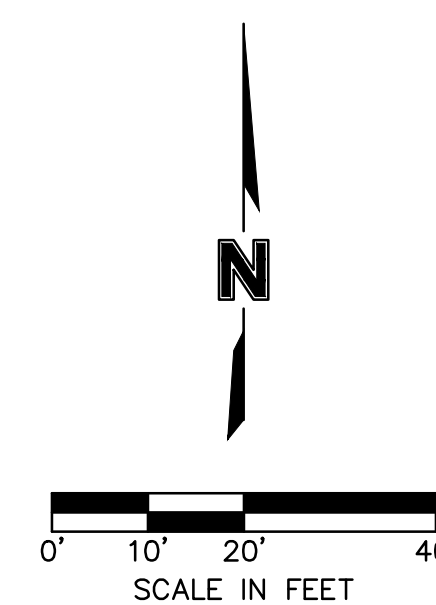
SIGN KEYNOTE LEGEND

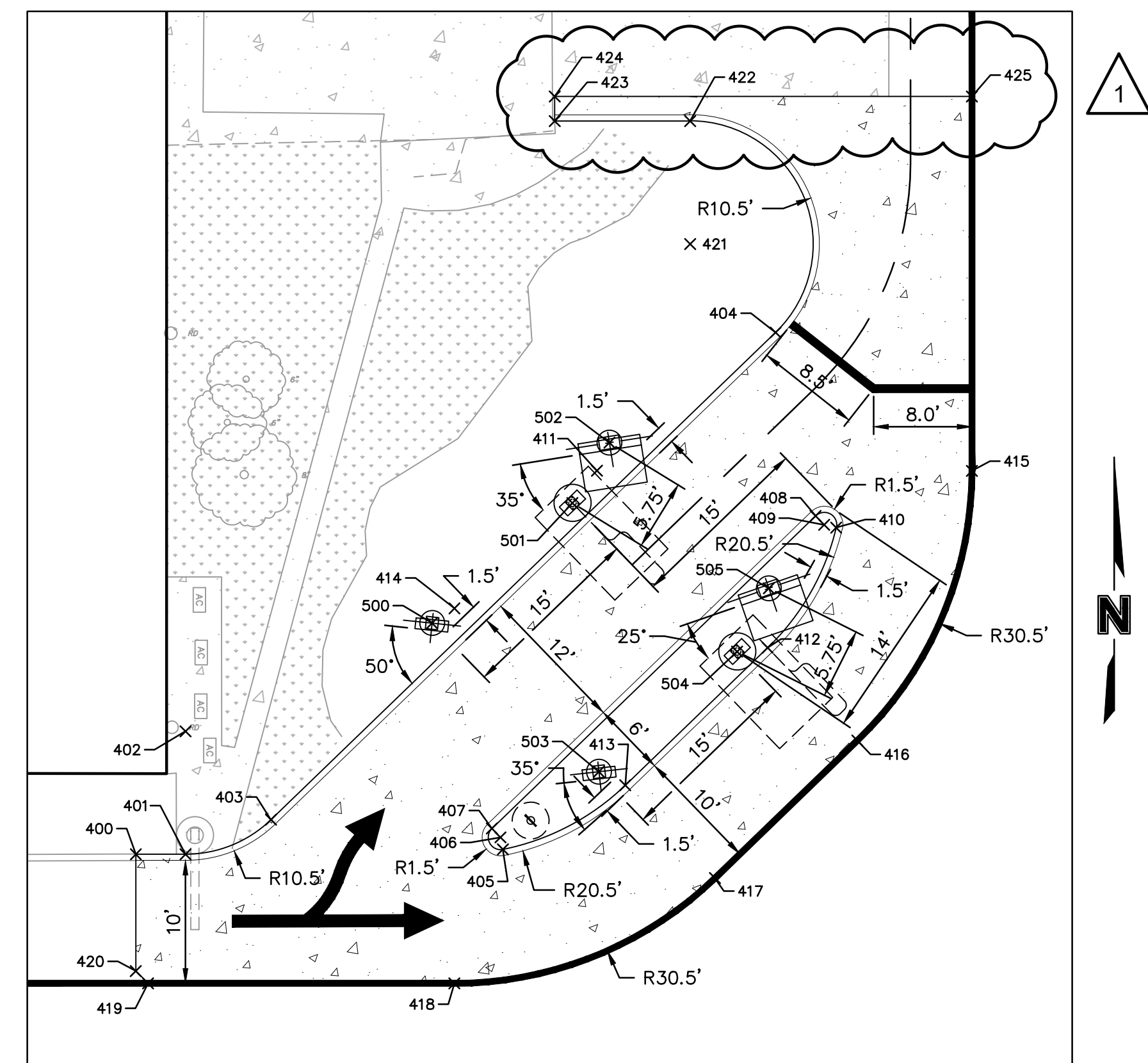
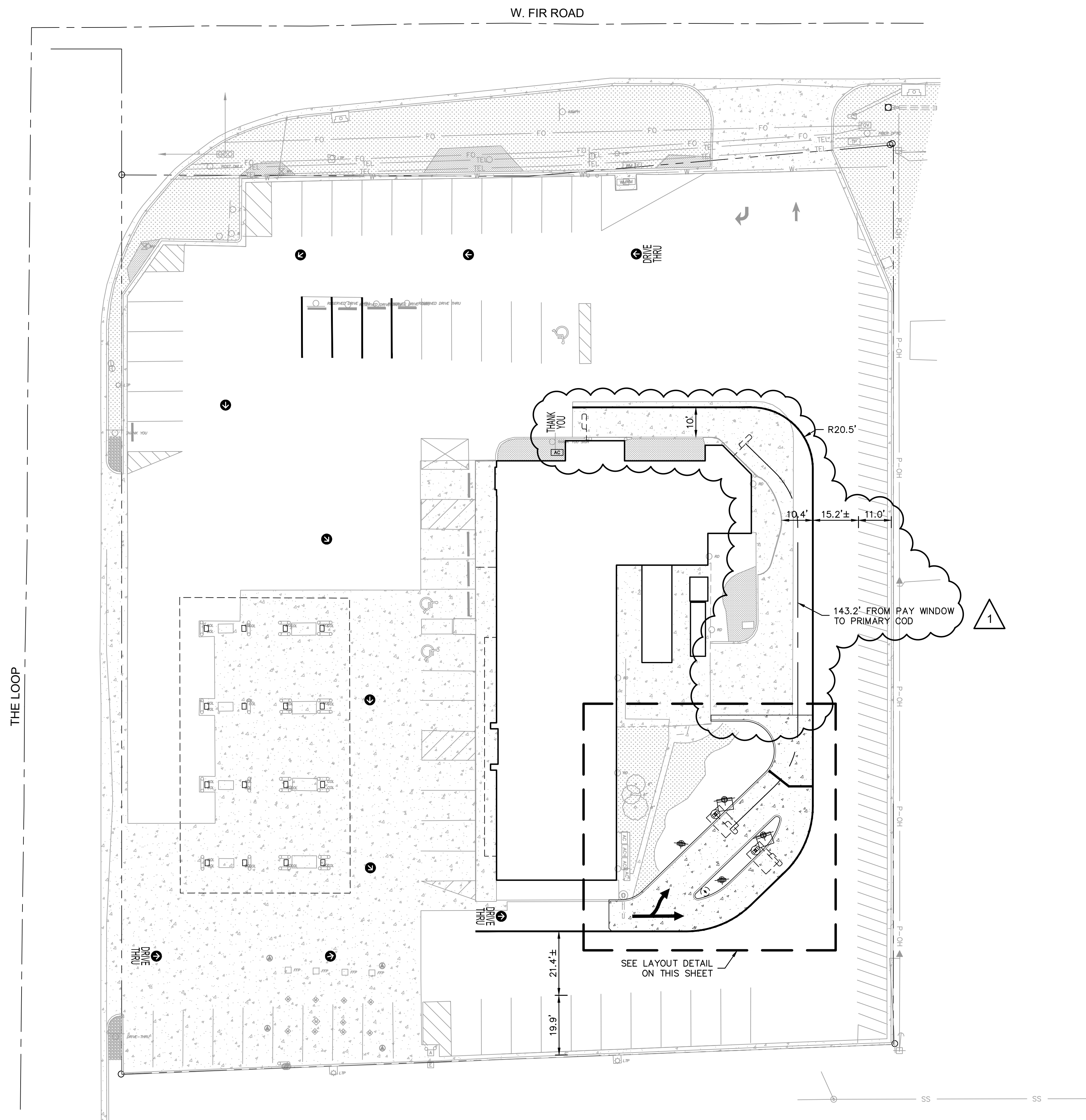
- (G1) INSTALL DIGITAL PRE-BROWSE BOARD PER MANUFACTURER'S SPECIFICATIONS
- (G2) INSTALL OUTDOOR DIGITAL MENU BOARD PER MANUFACTURER'S SPECIFICATIONS
- (G3) INSTALL OVERHEAD CANOPY PER MANUFACTURER'S SPECIFICATIONS
- (G4) EXISTING MOBILE ORDER SIGN ON MOBILE BASE TO REMAIN
- (G5) EXISTING PULL FORWARD SIGN ON MOBILE BASE TO REMAIN
- (G6) EXISTING SINGLE ARM GATEWAY TO REMAIN

STRIPING KEYNOTE LEGEND

- (P1) INSTALL "DRIVE THRU" WITH DIRECTIONAL ARROW, TYPICAL
- (P2) INSTALL DIRECTIONAL ARROW, TYPICAL
- (P3) INSTALL "THANK YOU"
- (P4) INSTALL 6" SINGLE SOLID YELLOW DRIVE THRU STRIPE
- (P5) INSTALL 6" SINGLE SOLID YELLOW STRIPE AT MERGE POINT
- (P6) INSTALL DOUBLE HEADED ARROW
- (P7) INSTALL 8" SINGLE SOLID YELLOW STRIPE FOR PULL FORWARD AND MOBILE ORDER STALLS

PAVING LEGEND

[illegible]



LAYOUT DETAIL
SCALE: 1"=10'

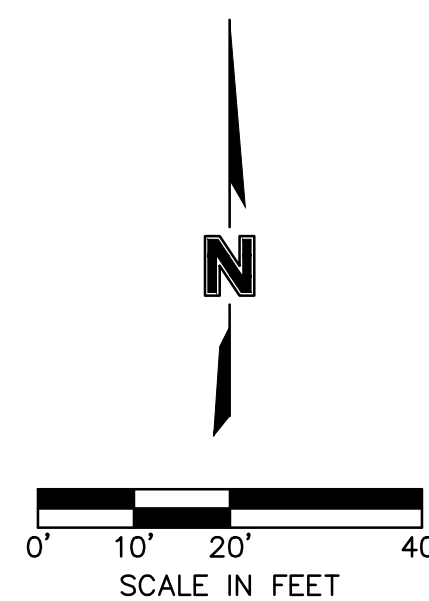
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401	354201.41	2841472.99	EOR
402	354211.41	2841472.99	COR
403	354204.22	2841479.94	EOR
404	354243.84	2841520.98	EOR
405	354201.80	2841498.80	EOR
406	354202.78	2841498.60	COR
407	354203.50	2841497.91	EOR
408	354228.92	2841524.24	EOR
409	354228.20	2841524.93	EOR
410	354227.97	2841525.91	EOR
411	354232.60	2841506.45	COR
412	354218.21	2841520.34	EOR
413	354207.02	2841508.75	EOR
414	354221.41	2841494.86	COR
415	354232.59	2841536.95	EOR

POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
416	354210.65	2841527.63	EOR
417	354199.47	2841516.05	EOR
418	354190.91	2841494.86	EOR
419	354190.91	2841469.95	EOC
420	354191.91	2841468.95	EOC
421	354251.04	2841514.03	COR
422	354261.04	2841514.03	EOR
423	354261.04	2841503.01	BOC
424	354263.04	2841503.01	EOC
425	354263.03	2841536.95	EOC
500	354220.20	2841493.04	COF
501	354229.98	2841504.46	COF
502	354234.88	2841507.46	COF
503	354208.12	2841506.61	COF
504	354217.89	2841517.86	COF
505	354223.04	2841520.43	COF

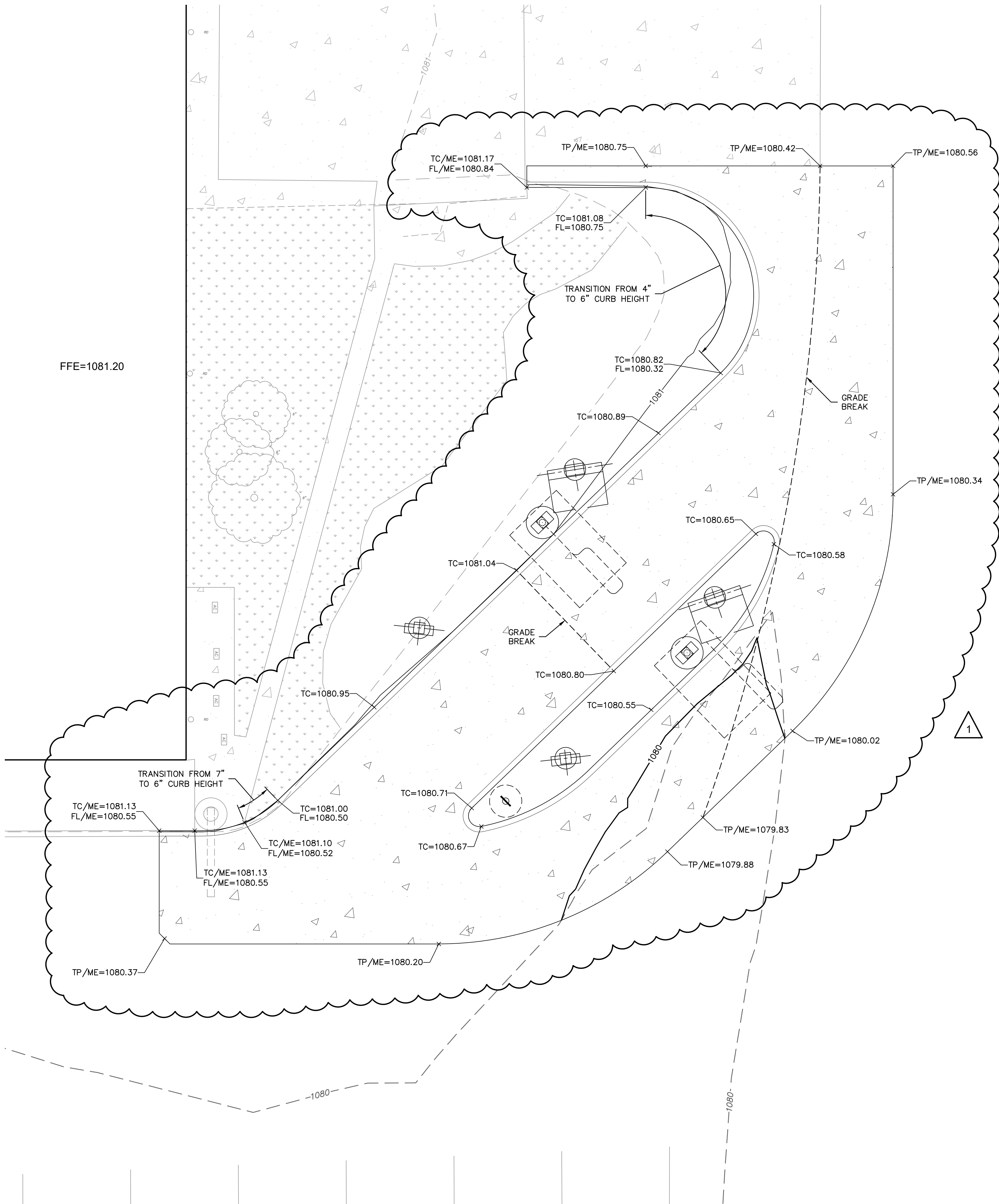
COF = CENTER OF FOUNDATION
COR = CENTER OF RADIUS
EOR = END OF RADIUS
EOC = EDGE OF CONCRETE
BOC = BACK OF CURB

NOTE:

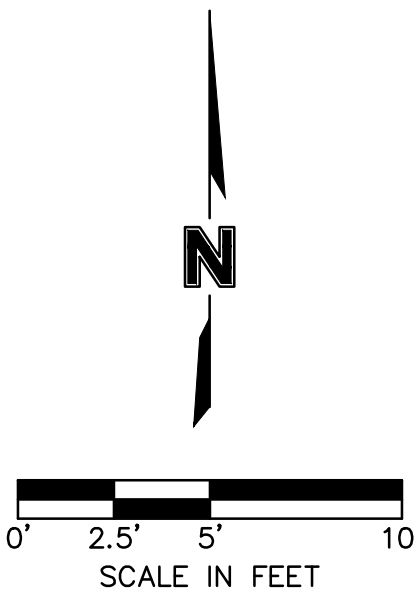
ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB,
OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT,
UNLESS OTHERWISE NOTED. ALL COORDINATES
PROVIDED ARE TO BACK OF CURB.

[illegible]

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DATE: Jan 14, 2020 11:50am XREFS: C_PBASE_81923 C_TBLK_81923



- LEGEND
- TC TOP OF CURB
FL FLOWLINE OF CURB
TP TOP OF PAVEMENT
ME MATCH EXISTING
- 1080 --- EXISTING GROUND CONTOUR
--- 1080 --- FINISHED GROUND CONTOUR



CONSTRUCTION

1. IN ADDITION TO THE CONDITIONS OF THE GEOTECHNICAL REPORT AND AS A MINIMUM THE CONTRACTOR SHALL PERFORM THE GRADING AS FOLLOWS:
 - A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE IN AREAS DESIGNATED BY THE OWNER. CONTRACTOR SHALL REMOVE EXCESS STRIPPINGS AND EXCESS EXCAVATION WITHIN 30 DAYS OF COMPLETION OF GRADING OPERATIONS.
 - B. AREAS TO RECEIVE FILL AND AREAS CUT TO SUBGRADE LEVEL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE SUBGRADE SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 - C. FILL SHALL BE PLACED IN MAXIMUM OF 8 INCH LIFTS.
 - D. TOPSOIL SHALL BE PLACED TO A MINIMUM DEPTH OF 6 INCHES OVER ALL AREAS DISTURBED BY THE WORK. LARGE STONES, STICKS AND LUMPS SHALL BE REMOVED OR BROKEN UP, AND THE TOPSOIL SHALL BE LEVELED AND RAKED. ALL DISTURBED AREAS SHALL BE LANDSCAPED PER LANDSCAPE PLANS OR SHALL BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED.
 - E. CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS AS REQUIRED.
2. THE CONTRACTOR SHALL DISPOSE ALL WASTE MATERIAL RESULTING FROM THE PROJECT OFF-SITE AND IN STRICT CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES.
3. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED. NOT ALL ADJUSTMENTS ARE INDICATED IN THE PLANS.
4. THE CONTRACTOR SHALL STREET SWEEP OR OTHERWISE CLEAN ALL ACCESS ROUTES TO THE SITE AT CONCLUSION OF THE PROJECT.
5. THE EXISTING AND PROPOSED FINISHED GROUND SURFACES ARE AVAILABLE ELECTRONICALLY FOR CONTRACTOR VERIFICATION VIA E-MAIL (IN AUTOCAD FORMAT). THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING GROUND SURFACE ELEVATIONS.
6. OFF-SITE FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT OR THE FOLLOWING IN THE ABSENCE OF A GEOTECHNICAL REPORT: PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.

GRADING PLAN NOTES

1. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
2. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
3. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
4. SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND).
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL.

SHEET NO.	TITLE	DRAWN BY A/JK	STD ISSUE DATE	REVIEWED BY MB	DATE ISSUED 11/15/19	SITE ID	SITE ADDRESS	DESCRIPTION	BY
024-0661.00.0	C3.0	PREPARED FOR: McDonald's USA, LLC				olsson			
		McDonald's USA, LLC				Olsson Engineering			
		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contract documents for reuse on another project is not authorized.				MO Cert. of Authority #001592 302 S. 4th Street, Suite 110 Manhattan, Kansas 66502 TEL 785.539.6900 FAX 785.539.6901 www.olsson.com			
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		NUMBER PE-2009016764 11/15/19				REVISIONS			
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							ISSUED FOR PERMIT REVIEW		
							ISSUED FOR BRAND REVIEW		
							REV	DATE	