

CODE ANALYSIS:

BUILDING CODES

BUILDING WAS DESIGNED UNDER THE FOLLOWING CODES:
 AMERICANS WITH DISABILITIES ACT (ADA-AS)
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL EXISTING BUILDING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 UNIFORM PLUMBING CODE
 2018 INTERNATIONAL FIRE CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL ENERGY CODE
 2017 NEC ELECTRICAL CODE

OCCUPANCY CLASSIFICATION

A-3 (FITNESS CENTER W/ 50+ OCCUPANTS)

CONSTRUCTION TYPE

II B CONSTRUCTION (NOT SPRINKLED)

FACILITY AREA

EXISTING AREA (GROSS): 7,424 SQ. FT.

OCCUPANT LOAD

WAITING: 56 / 7 = 8.0 OCCUPANTS
 OFFICE: 263 / 150 = 1.8 OCCUPANTS
 FITNESS AREA: 5310 / 50 = 106.2 OCCUPANTS
 MECH./I.T.: 110 / 300 = 0.4 OCCUPANTS
 OCCUPANT LOAD TOTAL: 117 OCCUPANTS

EXITING CALCULATION

117 OCCUPANTS X 0.2 = 23.2 INCHES REQUIRED
 105 INCHES PROVIDED

TOILET CALCULATIONS

117 OCCUPANTS OCCUPANTS (85% FEMALE 15% MALE)
 100 FEMALE OCCUPANTS ÷ 17 MALE OCCUPANTS
 FEMALES 1 TOILET PER 65 OCCUPANTS = 1.6 TOILETS REQUIRED
 FEMALES 1 LAV PER 200 OCCUPANTS = 0.5 LAVS
 MALES 1 TOILET PER 125 OCCUPANTS = 0.2 TOILETS REQUIRED
 MALES 1 LAV PER 200 OCCUPANTS = 0.1 LAVS
 4 TOILETS IN WOMEN'S LOCKER ROOM AND 1 UNISEX TOILET PROVIDED

1 MOP SINKS & HI-LOW DRINKING FOUNTAIN PROVIDED W/ BOTTLE FILLER MOUNT PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SEPT. 15, 2010 PER SECTION 602

TRASH ENCLOSURE

THIS BUILDING SHALL SHARE EXISTING TRASH ENCLOSURE UNIT THE DEVELOPMENT. TENANT SHALL COORDINATE WITH LANDLORD FOR LOCATION OF ALL TRASH/WASTE

PORTABLE FIRE EXTINGUISHERS

PROVIDE FIRE EXTINGUISHERS AS REQ'D PER NFPA-10.

GENERAL NOTES:

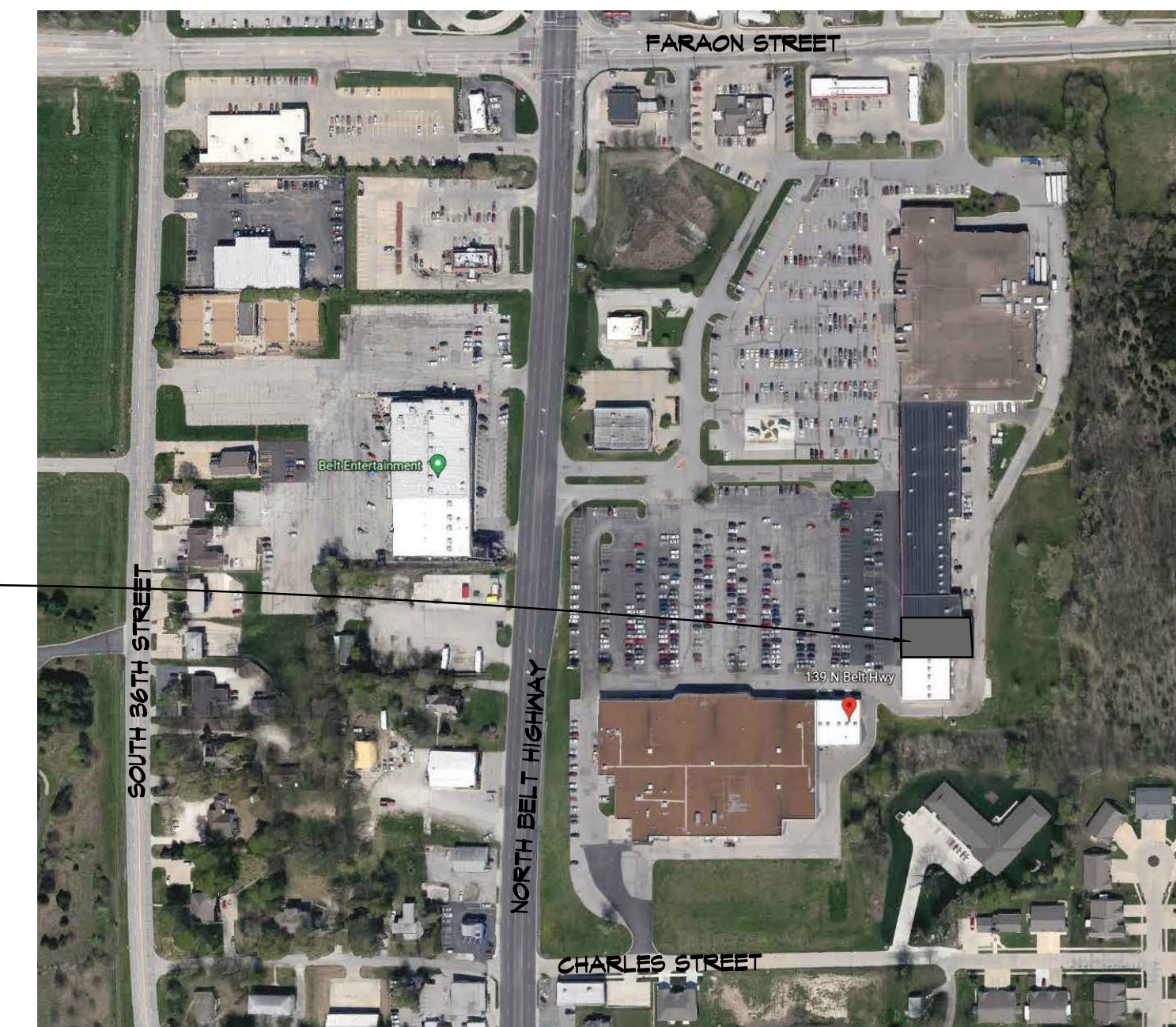
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A-201, LATEST EDITION, IS TO BE CONSIDERED A PART OF THESE BUILDING PLANS. ALTHOUGH NOT ALL CONTRACTORS SHALL BE HELD RESPONSIBLE FOR THE KNOWLEDGE OF ALL ARTICLES OF THE DOCUMENT AND SHALL BE FOUND BY THEM. COPIES WILL BE AVAILABLE AT THE ARCHITECT'S OFFICE FOR STUDY UPON REQUEST.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL LAWS, CODES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- CONTRACTOR AND SUBCONTRACTORS AND AGENTS SHALL HOLD ALL APPLICABLE AND REQUIRED LICENSES FOR THE JURISDICTION WHERE THE WORK WILL BE PERFORMED.
- CONTRACTOR SHALL ACQUAINT THEMSELVES WITH ALL LANDLORD / DEVELOPER REQUIREMENTS AND SHALL COMPLY FULLY WITH SUCH.
- TO ENSURE COORDINATION BETWEEN DISCIPLINES, CONTRACTOR SHALL NOTIFY EACH SUBCONTRACTOR OR AGENT WITH A FULL SET OF CONSTRUCTION DOCUMENTS FOR THEIR USE.
- MAINTAIN SAFE EXITING AND APPROPRIATE FIRE PREVENTION PROCEDURES AT ALL TIMES DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
- ALL AREAS OF EXISTING LANDSCAPING DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.
- CONTRACTOR SHALL VERIFY AND PROVIDE ALL UTILITY CONNECTIONS (PLUMBING, ELECTRICAL, GAS, ETC.) IN THE FORM OF SUPPLY AND DRAIN PIPES, CONDUIT AND PULLING WIRES, ETC.) RELATED TO EQUIPMENT AND APPLIANCES.
- DIMENSIONS ARE TO FACE OF FINISHED MATERIAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES IN THE FIELD AND PROVIDE ADDITIONAL UTILITY SERVICE AS REQUIRED TO MEET THE SCOPE AND INTENT OF THE WORK.
- PROVIDE FIRE EXTINGUISHERS PER APPLICABLE CODES. VERIFY FINAL LOCATION WITH A.H.J.
- CONTRACTOR SHALL COORDINATE ALL WORK THAT AFFECTS THE ROOF WITH THE LANDLORD AND CONTRACT WITH THE SHELL ROOFING SUB-CONTRACTOR TO PERFORM ALL WORK OF PENETRATING THE ROOF FOR ANY AND ALL ITEMS ADDED ON THE ROOF AND PATCHING/SEALING OF SUCH PENETRATIONS DURING AND AFTER EQUIPMENT INSTALLATION.
- CONTRACTOR SHALL REVIEW THE DIMENSIONS OF ALL EQUIPMENT IN THE PROJECT REGARDLESS OF THE SOURCE AND COORDINATE ACCESS TO THE SPACE AND VERIFY CLEAR FLOOR SPACE IS PROVIDED AS REQUIRED TO ENSURE EASE OF INSTALLATION.
- CONTRACTOR TO VERIFY THAT EQUIPMENT HAS APPROPRIATE CLEARANCES DURING INSTALLATION INCLUDING MAINTENANCE CLEARANCES. VERIFY THAT THERE ARE NO CONFLICTING UTILITIES.
- PROVIDE AND INSTALL ALL NECESSARY IN-WALL FRAMING REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, RAILINGS, KITCHEN EQUIPMENT, ETC. AS PER PLANS.
- ALL SURFACES WHICH ARE INDICATED TO BE FINISHED OR PAINTED SHALL BE PREPARED Sanded, TREATED, AND PRIME IN STRICT ACCORDANCE WITH COMMERCIAL QUALITY STANDARDS, AND IN STRICT ACCORDANCE WITH FINISH MATERIAL MANUFACTURER'S INSTRUCTIONS.
- ALL FINISH SURFACES PENETRATED SUCH AS CEILING TILES AND MILLWORK COUNTERS FOR ANY REASON MUST HAVE AN ASSOCIATED SMOKE-RETARDANT APPROVED FOR THAT USE.
- PROVIDE OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES. DESIGN TO BE APPROVED BY ARCHITECT.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACINGS TO STRUCTURE FOR INTERIOR PARTITIONS, SOFFITS, CEILING, PLUMBING, ETC., WHETHER SHOWN ON THE DRAWINGS OR NOT.
- PRIOR TO CUTTING OR MODIFYING ANY UTILITY LINE WITHIN THE SPACE, WHETHER SHOWN IN THESE DOCUMENTS OR NOT, COORDINATE WITH LANDLORD.
- ALL BLOCKING MUST BE FIRE OR OTHERWISE INCOMBUSTIBLE.
- PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK.
- VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS AND MAKE ALL CONNECTIONS REQUIRED. LOCATIONS OF EXISTING UTILITIES INDICATED IN THE DRAWINGS ARE APPROXIMATE, ARE BASED ON INFORMATION PROVIDED, BUT HAVE NOT BEEN FIELD VERIFIED.
- PERFORM WORK BY MEANS THAT WILL NOT PRODUCE NOISE, VIBRATION, ODORS OR DUST WHICH COULD AFFECT OPERATIONS OR USE BY OTHER TENANTS.
- PROTECT EXISTING CONSTRUCTION FROM DAMAGE AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS AT NO COST TO OWNER.
- IF REQUIRED BY JURISDICTION, PRIOR TO DEMOLITION, G.C. TO PROVIDE ALL HAZARDOUS MATERIALS TESTING AND SUBMIT RESULTS TO AUTHORITY HAVING JURISDICTION. ABIDE BY MOST RESTRICTIVE OF ALL APPLICABLE CODE IN REGARD TO TESTING AND REMEDIATION OF ANY HAZARDOUS MATERIALS UNCOVERED BY TESTING.
- FOR FINISHES, REFER TO A2.2

DEMOLITION NOTES:

- COORDINATE W/ TENANT TO DECIDE WHAT ELEMENTS TO BE DEMO'D WILL BE SALVAGED FOR RE-INSTALLATION; SALVAGED ITEMS SHALL BE EVALUATED TO ENSURE THEY MEET CODE, CLEAN AND STORE FOR RE-INSTALLATION
- PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE LANDLORD'S CRITERIA
- COORDINATE DEMOLITION WITH LANDLORD'S REPRESENTATIVE AND CONTACT LANDLORD IN ADVANCE OF ANY WORK INVOLVING CONNECTION TO LANDLORD'S BUILDING SYSTEMS OR REQUIRING TEMPORARY SHUT DOWN OF UTILITIES.
- PATCH AND REPAIR EXISTING DRYWALL/SUBSTRATES FOUND UNSUITABLE FOR INSTALLATION OF NEW FINISHES, AS REQUIRED.
- REMOVE EXISTING PARTITIONS, CEILING, SOFFITS AND ASSOCIATED FRAMING AND BRACING BACK TO STRUCTURE AS NECESSARY FOR NEW CONSTRUCTION. PROTECT EXISTING STRUCTURAL ELEMENTS NECESSARY FOR THE BUILDING SHELL.
- REMOVE MECHANICAL/ELECTRICAL AND PLUMBING COMPONENTS AS REQUIRED TO FACILITATE THE NEW CONSTRUCTION AND THAT ARE NOT INDICATED TO BE REUSED. PROTECT UTILITIES REQUIRED FOR THE BUILDING SHELL. AT SLABS, CAP DISCONTINUED UTILITIES BELOW SLAB LEVEL AND PATCH SLAB
- REMOVE ALL EXISTING FINISH MATERIALS TO EXPOSE FRAMING OR STUDS, CONCRETE OR MASONRY WALLS AS APPLICABLE WITH EXPOSED STRUCTURE UNLESS OTHERWISE NOTED. TURN OVER SALVAGEABLE MATERIALS TO OWNER IF REQUESTED.
- WHERE INDICATED, REMOVE EXISTING FLOORING AND BASE AND REPAIR SUBSTRATE FLOOR SURFACE AS REQUIRED TO PROVIDE FLUSH INSTALLATION OF NEW FLOORING MATERIALS.
- DEMOLITION ALWAYS REVEALS CONDITIONS THAT ARE UNANTICIPATED. G.C. TO REPORT TO ARCHITECT REVEALED CONDITIONS THAT MAY PREHIBIT PROGRESS OF NEW CONSTRUCTION BEING FOLLOWED.
- G.C. TO REPAIR EXPOSED AREAS OF CONSTRUCTION WITH LIKE MATERIALS AND FINISH TO MATCH ADJACENT.
- GENERAL CONTRACTOR IS TO PROTECT EXISTING MATERIALS AND SURFACES TO REMAIN - REPAIR ALL DAMAGE CAUSED DURING DEMOLITION AND ALL CONSTRUCTION PHASES BY THE GENERAL CONTRACTOR, THEIR SUBS OR THEIR AGENTS AT GENERAL CONTRACTOR'S EXPENSE TO LIKE NEW CONDITION
- THROUGHOUT THE TENANT SPACE, REMOVE EXISTING FLOORING & WALL BASE THROUGHOUT THIS ROOM; SCORE JOINT AT TOP OF WALL BASE PRIOR TO REMOVAL TO LIMIT DAMAGE TO WALL FINISH

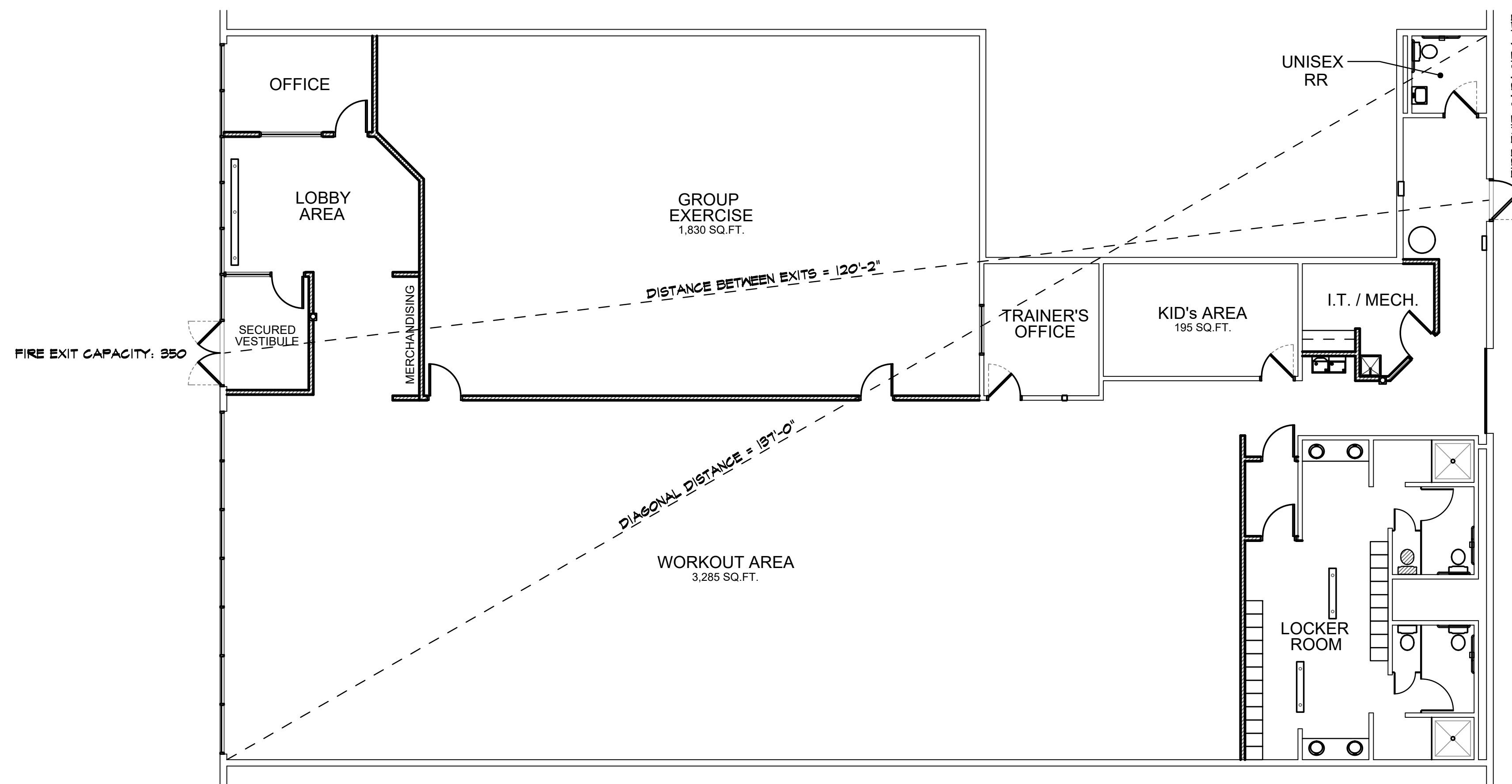
DRAWING INDEX:

- Q1.0 CODE ANALYSIS
- D2.0 INTERIOR DEMOLITION PLAN
- A2.1 FLOOR PLAN
- A2.2 ENLARGED PLANS, DETAILS & FINISHES
- A2.3 REFLECTED CEILING PLANS
- A2.4 FINISH PLAN
- MP MECHANICAL SPECIFICATIONS
- M1 MECHANICAL PLAN
- M2 MECHANICAL SCHEDULES
- P1 WASTE & VENT PLAN
- P2 DOMESTIC WATER PLAN
- P3 RISER DIAGRAMS
- E0 MEP SPECIFICATIONS
- E1 LIGHTING PLAN
- E2 ELECTRICAL PLAN
- E3 ELECTRICAL SCHEDULES



EXISTING BUILDING SHELL
 139 NORTH BELT HIGHWAY
 SUITE 101

SITE MAP
 SCALE // NTS



EGRESS PLAN
 SCALE // 1/8" = 1'-0"

CONSTRUCTION NOTES:

- LIMIT WORK TO OCCUR WITHIN THE PROJECT SITE, OR WITHIN OTHER AREAS DESIGNATED OR APPROVED FOR USE BY THE OWNER OR LANDLORD, IF NOT WITHIN THE PROJECT SITE, MAKE CONNECTIONS TO UTILITIES IN THE MOST EXPEDITIOUS MANNER POSSIBLE WITHOUT AFFECTING EXISTING CONSTRUCTION WORK.
- MAINTAIN EXISTING EXITS, EXIT ACCESS AND PROVIDE APPROPRIATE FIRE PREVENTION PROCEDURES DURING CONSTRUCTION.
- PROTECT EXISTING CONSTRUCTION FROM DAMAGE AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS AT NO COST TO OWNER.
- PROVIDE TEMPORARY DUSTPROOF ENCLOSURE BETWEEN THE CONSTRUCTION AREA AND EXISTING OCCUPIED SPACES WHERE CONSTRUCTION IS OPEN TO EXISTING SPACES.
- PERFORM WORK BY MEANS THAT WILL NOT PRODUCE NOISE, VIBRATION, ODORS OR DUST WHICH COULD AFFECT OPERATIONS OR USE BY OTHER TENANTS.
- VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS AND MAKE ALL CONNECTIONS REQUIRED. LOCATIONS OF EXISTING UTILITIES INDICATED IN THE DRAWINGS ARE APPROXIMATE, ARE BASED ON INFORMATION PROVIDED, BUT HAVE NOT BEEN FIELD VERIFIED. PROVIDE CONNECTIONS AS REQUIRED BY ACTUAL UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK
- CUT & PATCH GYP BD @ EXISTING PARTITIONS AS REQUIRED FOR INSTALLATION OF ELEC & PLUMBING SERVICE LINES AND FOR INSTALLATION OF WALL BLOCKING. PROVIDE MIN. 8000 LB CONCRETE FOR RE-FILLING TRENCHES FLUSH WITH ADJACENT CONCRETE SLAB. INSTALL MIN. 10 MIL VAPOR BARRIER OVER GRANULAR FILL.
- PROVIDE COVER PLATES OR FINISHED CLOSURES AT ABANDONED WALL PENETRATIONS WHERE EXPOSED.
- PATCH AND REPAIR EXISTING DRYWALL/SUBSTRATES FOUND UNSUITABLE FOR INSTALLATION OF NEW FINISHES, AS REQUIRED.
- NO COMBUSTIBLE MATERIALS OR EQUIPMENT MAY BE INSTALLED IN THE FLESH
- ALL WORK PERFORMED WHICH INVOLVES MODIFICATIONS OR PENETRATIONS OF THE EXISTING ROOF MUST BE PERFORMED BY LANDLORD'S ROOFER TO MAINTAIN THE ROOFING WARRANTY. G.C. SHALL COORDINATE WITH LANDLORD TO CONTRACT WITH THE LANDLORD'S ROOFING CONTRACTOR FOR THE BUILDING.

LIFE SAFETY NOTES:

The general contractor for this building will oversee and maintain on-site control of the above referenced project during construction.

The procedures that are to be followed are started below, but are not limited to:

- Daily notification of the Fire Dept. when fire safety systems are taken out of service and reinstated.
- Tagging of valves and disconnects of life safety systems.
- Removal and replacement of smoke detectors to prevent false alarms.
- Continual supervision by property managers and building engineers.

NOTES:

- Any changes or considerations which affect the design intent must be called to the attention of the Project Architect and Project Coordinator immediately.
- All dimensions are critical, any discrepancies or revisions from dimensions indicated on these drawings must be called to the attention of the Architect immediately.
- Contractor shall examine site, field verify all dimensions and field conditions. Sub-contractors shall become familiar with conditions affecting the construction prior to submitting a bid. Failure to do so shall be no cause for a just cause for future extras.
- Contractor shall provide all necessary permits and fees.
- Contractor shall provide all necessary temporary protection to ensure the safety of the general public during the construction phase.
- Contractor shall meet all local governmental code requirements for performance of all construction work.
- All construction shall be non-structural. There are no changes or alterations to the building superstructure.
- Construction must be completed per agreement.
- Contractor shall provide all labor, materials, equipment, and service required to execute and complete all items as shown on indicated on the drawings and as specified, including incidental items to effect a finished and complete job.
- All work shall comply with state and local codes and ordinances, and shall be done to the highest standards of craftsmanship.
- All waste materials, rubbish, debris, etc. shall be removed from the tenant's premises as soon as possible and not allowed to accumulate.
- The General Conditions of the Contract for Construction, AIA Document A-201, 1987 Edition, is to be considered a part of these Specifications although not enclosed herein. All Contractors shall be held responsible for the knowledge of all Articles of this document and shall be bound by them. Copies will be available at the architect's office for study upon request.
- Unless noted otherwise, all cabinets shall be plastic laminate tops, backsplashes, doors and units- all interiors of cabinets shall be melamine unless noted otherwise.
- All wallcovering and carpet to have a flammepret not-to-exceed 75.
- All tenant spaces shall have a lay-in acoustical ceiling set at 10'-0" AFF, unless noted otherwise.

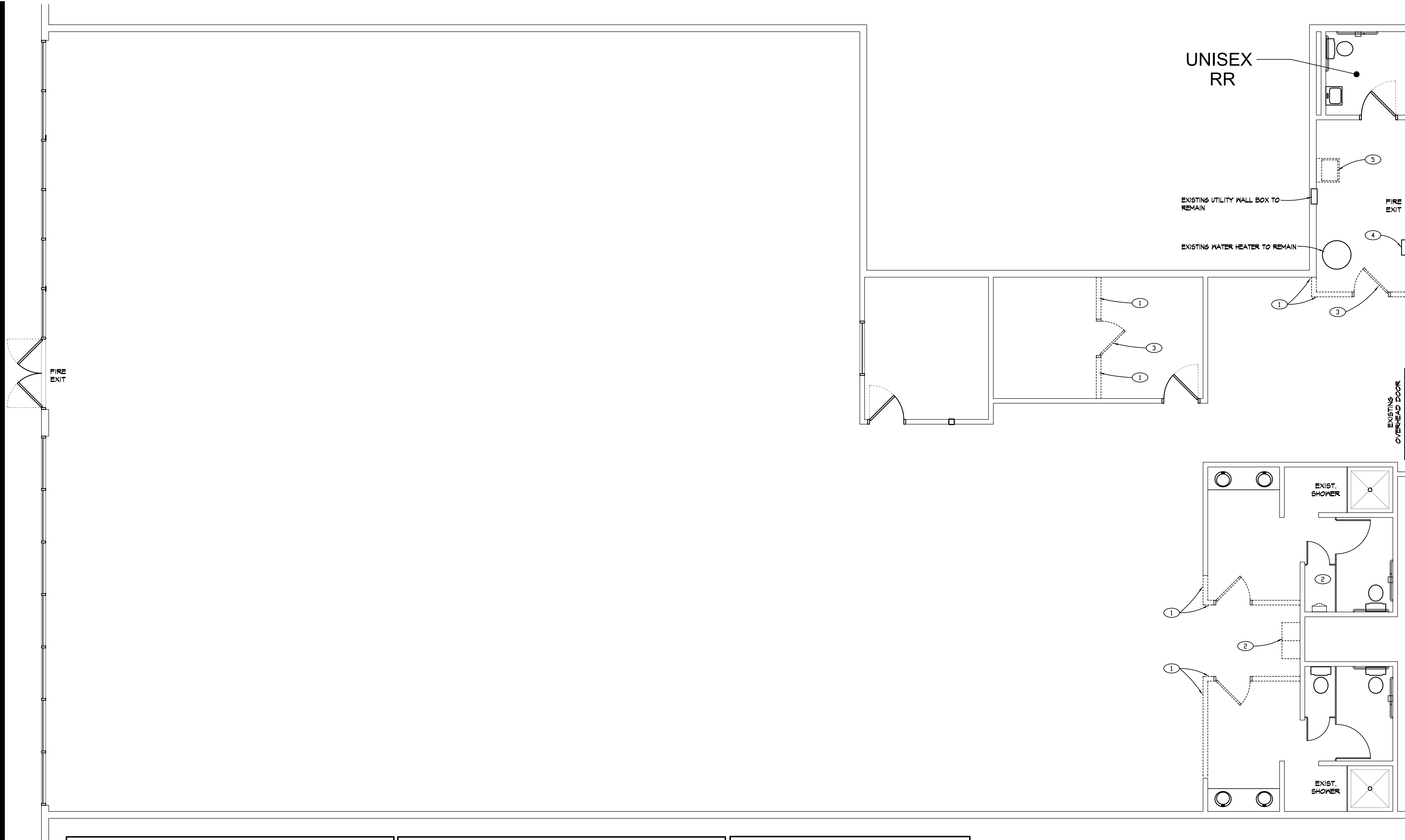
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TENANT FINISH FOR:
BLUSH FITNESS
 139 NORTH BELT HIGHWAY #M
 SAINT JOSEPH, MISSOURI

DATE: FEB. 14, 2023
 REVISED SHEET NUMBER
G1.0
 OF SHEETS
 KAI JOB NO. 2301-A



GENERAL DEMOLITION NOTES:

- REMOVE ALL EXISTING FLOORING AND WALL BASE THROUGHOUT
- WHERE WALLS INDICATED TO BE REMOVED HAVE SEWER, CAP OFF SEWER BELOW THE SLAB IN COMPLIANCE WITH PLUMBING CODE
- WHERE WALLS INDICATED TO BE REMOVED HAVE WATER SUPPLY, CAP OFF LINES IN UPPER AREA OF STRUCTURE OR IN ADJACENT WALL TO REMAIN
- WHERE WALLS INDICATED TO BE REMOVED HAVE ELECTRICAL, REMOVE ELECTRICAL AND CONDUITS BACK TO NEAREST EXISTING J-BOX IN AREA THAT WILL REMAIN
- SALVAGE EXISTING CEILING FANS; CLEAN AND STORE FOR RE-INSTALLATION
- AT LAY-IN CEILINGS, REMOVE ANY STAINED OR DAMAGED CEILING TILES AND REPLACE W/ TILES TO MATCH EXISTING
- AT LAY-IN CEILINGS, REMOVE AND REPLACE ANY STAINED OR DAMAGED PORTIONS OF CEILING GRID WITH GRID TO MATCH EXISTING
- SAWCUT SLAB FOR NEW PLUMBING LINES AS REQ'D TO INSTALL NEW PLUMBING LINES BELOW SLAB; AFTER INSTALLATION, PROVIDE CRUSHED ROCK W/ 10 MIL VAPOR BARRIER; POUR 3000 LB CONCRETE MIX TO LEVEL W/ TOP OF EXISTING SLAB; PROVIDE SMOOTH AND LEVEL TRANSITION AT EDGES

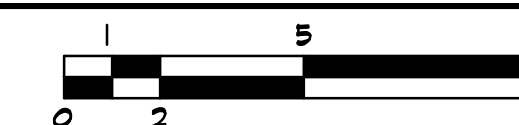
DEMOLITION KEYNOTES: (X)

1. REMOVE EXISTING WALL; CLEAN UP/REPAIR SURFACES WHERE WALL ABUTS EXISTING WALLS TO REMAIN
2. REMOVE EXISTING DRINKING FOUNTAINS; CAP OFF PLUMBING SUPPLIES AND DRAINS
3. REMOVE EXISTING DOOR AND FRAME
4. EXISTING ELECTRICAL PANELS; CLEAN FACE PLATE
5. REMOVE EXISTING STAND-UP UTILITY SINK; CAP OFF PLUMBING SUPPLIES AND DRAINS.

LEGEND:

- INDICATES EXISTING DOOR TO REMAIN
- INDICATES EXISTING DOOR TO BE REMOVED
- INDICATES EXIST. WALL TO REMAIN
- INDICATES EXIST. WALL TO BE REMOVED

DEMOLITION PLAN
SCALE // 1/4" = 1'-0"



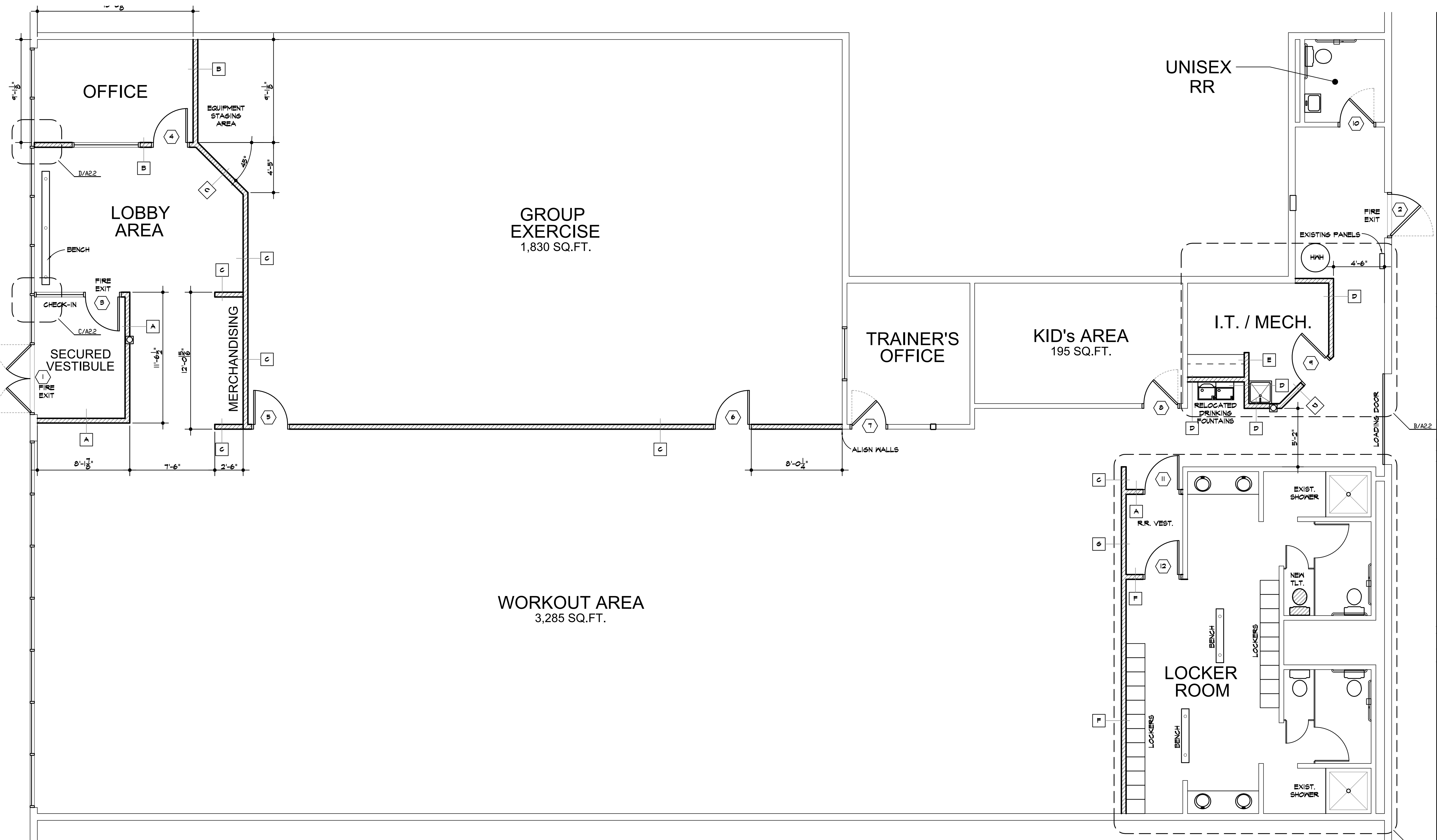
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WALLTYPES:

- ALL DRY WALL WALLS TO RECEIVE LEVEL FOUR (4) FINISH SURFACE UNLESS NOTED OTHERWISE
- A. 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE
 - B. 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE; FILL STUD VOIDS W/ SOUND BATT INSULATION TO 12'-0" A.F.F.
 - C. 3 5/8" 18 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE; PROVIDE FULL THICKNESS SOUND BATT INSULATION
 - D. 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE; PROVIDE 5/8" WATER RESISTANT GYP BOARD WITHIN 24" OF MOP SINK.
 - E. 3 5/8" 25 GA METAL STUDS @ 16" O.C. TO 6" ABOVE FINISH CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE; PROVIDE 5/8" WATER RESISTANT GYP BOARD WITHIN 24" OF MOP SINK
 - F. 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE; PROVIDE 5/8" WATER RESISTANT GYP BOARD ON LOCKER/SHOWER ROOM SIDE; PROVIDE SOUND BATT INSULATION FULL HEIGHT AT WALL
 - G. 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ON ABOVE FINISH CEILING; SHEATH W/ 1 LAYER 5/8" EACH SIDE

FURNISHINGS:

- FRANCHISEE SHALL PURCHASE THE FOLLOWING ITEMS FROM CORPORATE; TURN OVER TO G.C. FOR INSTALLATION; (G.C. TO PROVIDE FRT BLOCKING IN WALLS AS REQ'D)
- FLOWER WALLCOVERING
 - SLATWALL
- G.C. SHALL ORDER AND INSTALL:
- BENCHES**
- 4 1/2" X 10'-0" FLAT WOOD BENCH W/ 1 1/4" MAPLE HARDWOOD TOP W/ HEAVY DUTY STEEL PEDESTALS BY SCHOOLLOCKERS.COM
 - SKU: BPT-04XX W/ P416 DUSTY GRAY PEDESTALS
- RESTROOM ACCESSORIES:**
- TOILET PAPER DISPENSER
 - PAPER TOWEL DISPENSER AND DISPOSAL
 - BABY CHANGING STATION
 - SOAP DISPENSER
 - AIR FRESHENER
 - TOILET SEAT CLEANER
- FRANCHISEE TO ORDER ACCESSORIES FROM CINTAS CONTACT DENNIS HOLLINGSWORTH HOLLINGSWORTH@cintas.com REPLACE RESTROOM ACCESSORIES IN EXISTING RESTROOMS, TYP. ALL RESTROOM ACCESSORIES ARE TO BE INSTALLED TO MEET ACCESSIBILITY CODE REQUIREMENTS

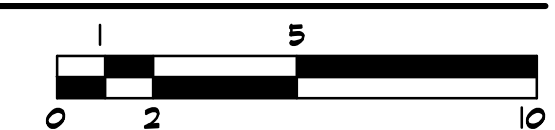
LEGEND:

- INDICATES EXIST. DOOR TO REMAIN
- INDICATES EXISTING DOOR TO BE REMOVED
- INDICATES NEW DOOR (3'-0" x 7'-0") WITH HOLLOW METAL FRAME TO MATCH EXISTING DOORS AND FRAMES U.N.O.
- INDICATES EXIST. WALL TO REMAIN
- INDICATES EXIST. WALL TO BE REMOVED
- INDICATES NEW WALL PER SCHEDULE- INFILL WALLS TO MATCH ADJACENT WALL TYPE.

FINISHES:

- REMOVE EXISTING FINISHES AS REQ'D FOR THE INSTALLATION OF THE FINISHES LISTED ON A2.2.
- CONFIRM SUBSTRATES MEET MANUFACTURER'S REQUIREMENTS
- INSTALL FINISHES AS INDICATED ON A2.2

FLOOR PLAN
SCALE 1/4" = 1'-0"



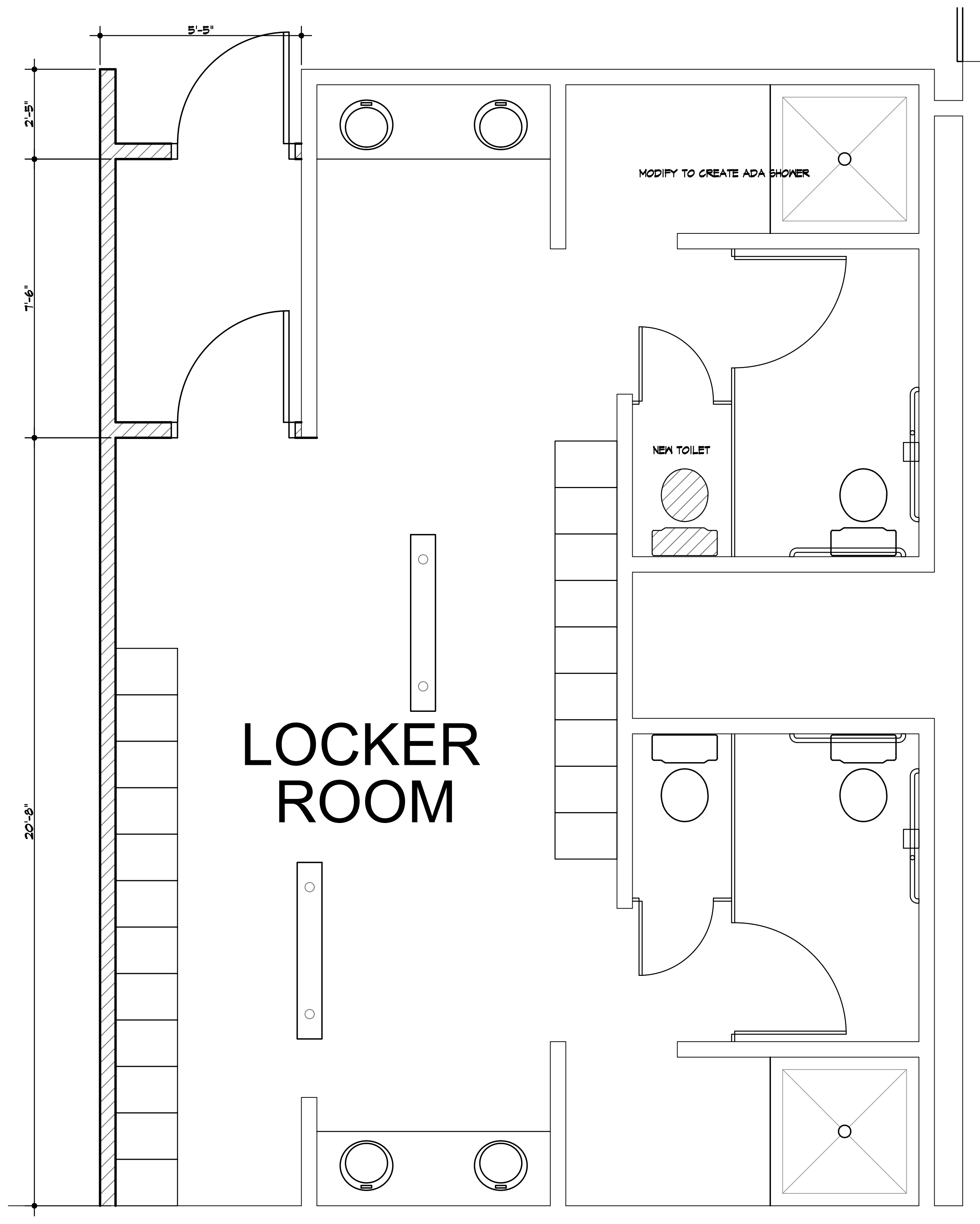
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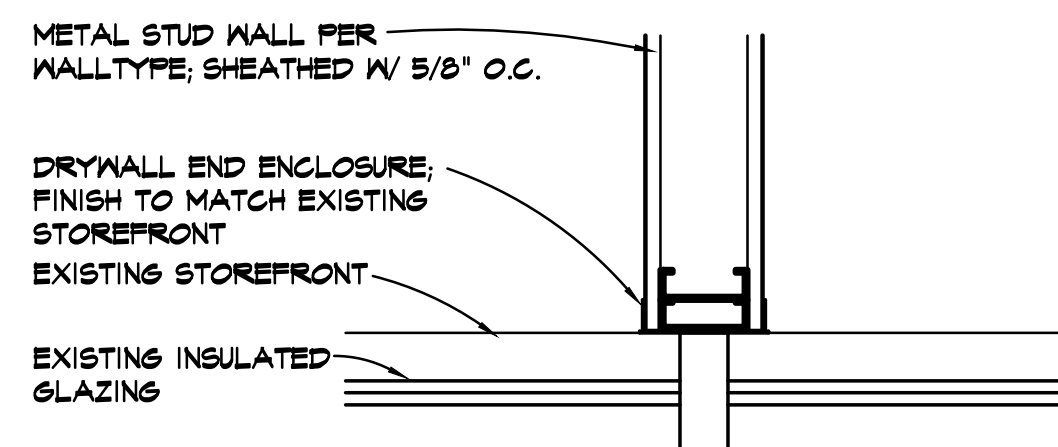
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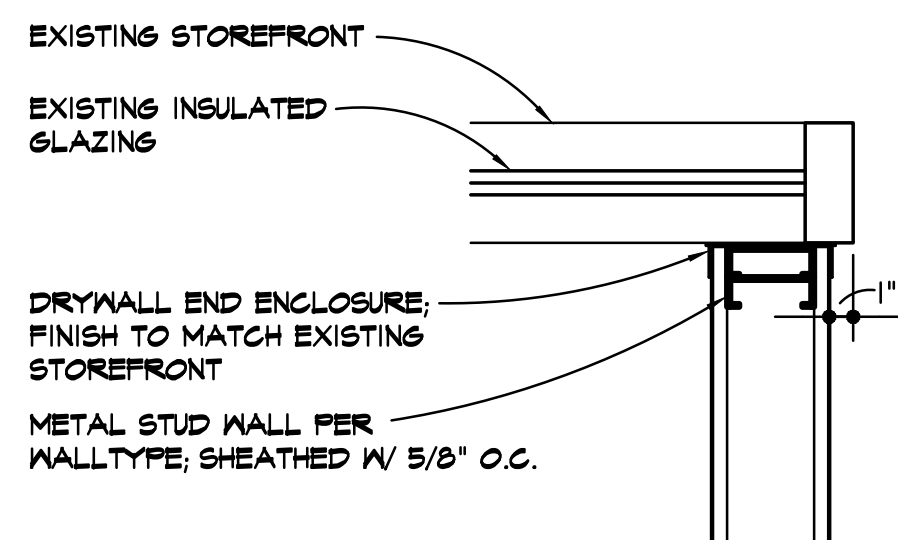


LOCKER ROOM

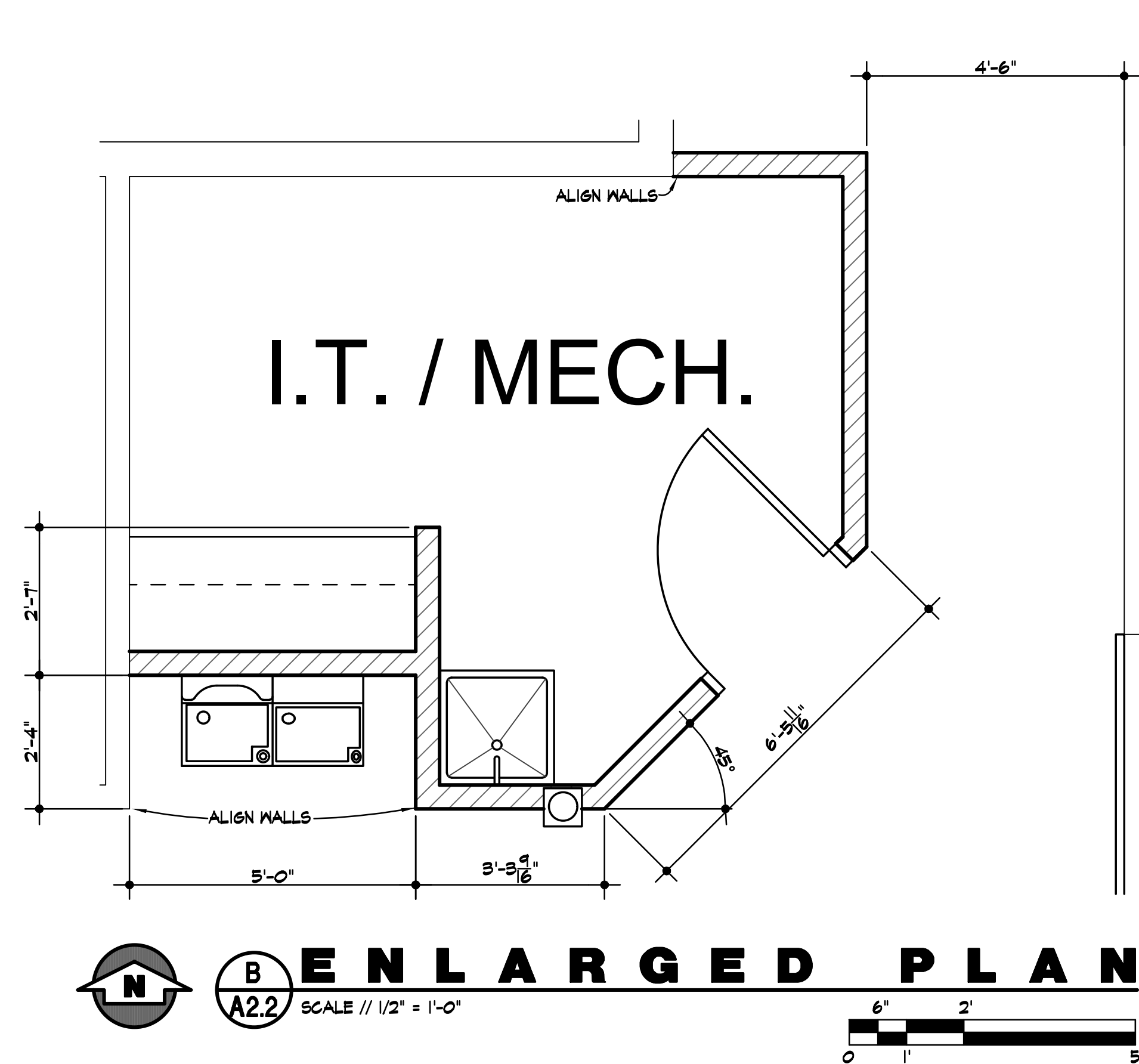
A ENLARGED PLAN
SCALE // 1/2" = 1'-0"
N



C ENDWALL DETAIL @ STOREFRONT
SCALE // 1/2" = 1'-0"



D ENDWALL DETAIL @ ENTRY
SCALE // 1/2" = 1'-0"



I.T. / MECH.

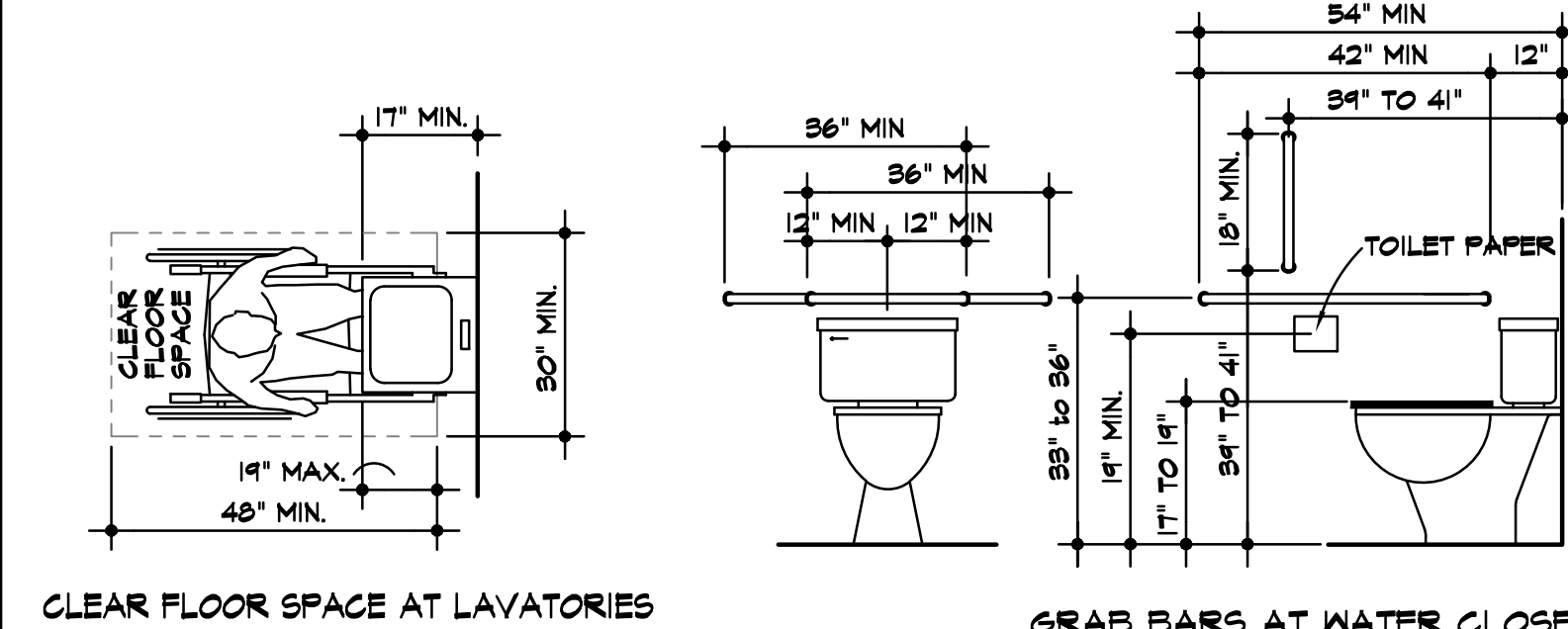
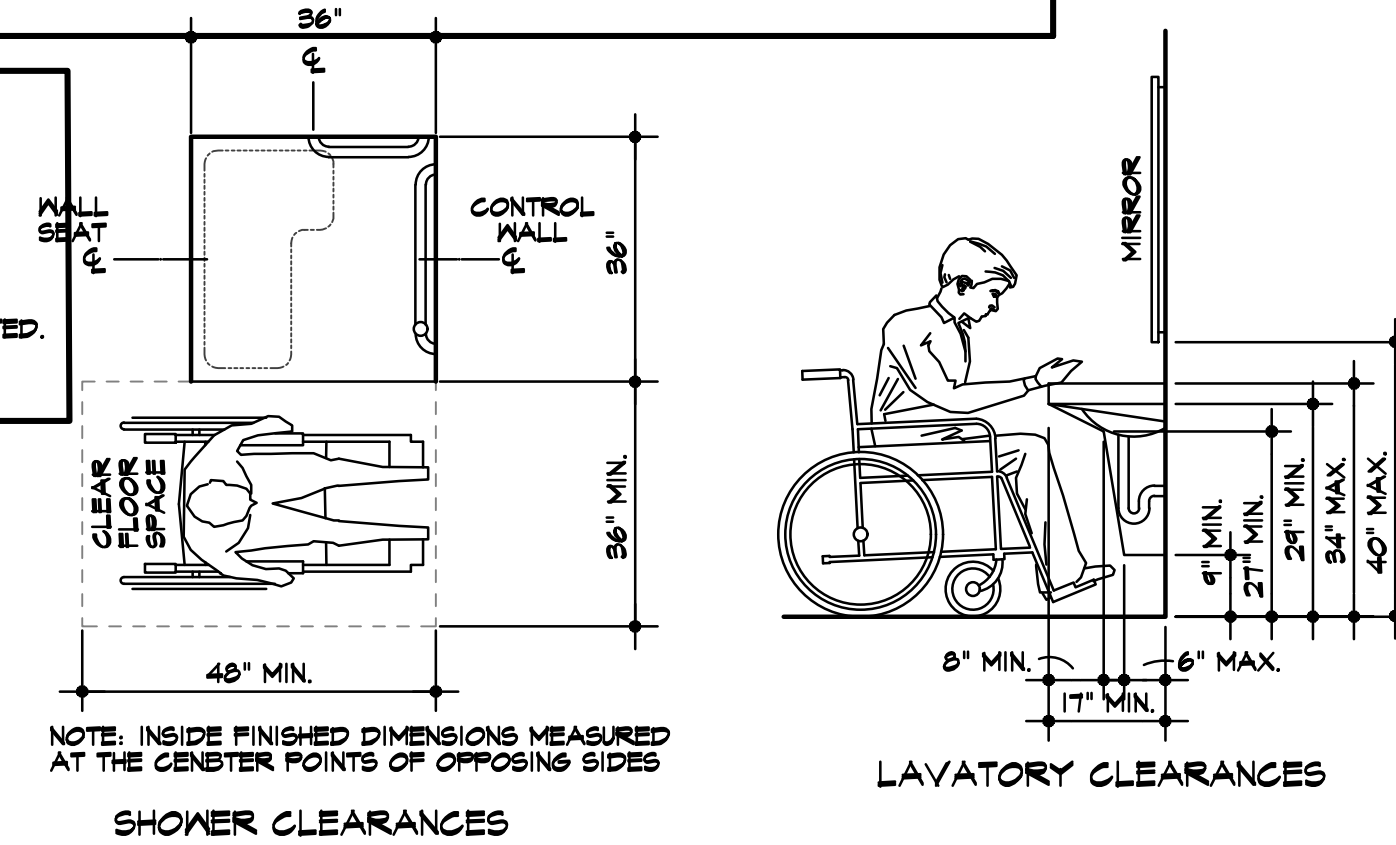
B ENLARGED PLAN
SCALE // 1/2" = 1'-0"
N

NEW DOOR SCHEDULE

NO.	SIZE	MAT'L/FINISH	FRAME	LOCK	CLOSER	KICKPLATE	NOTES
1	6'-0"x7'-0"	EXISTING BRONZE ALUM	EXISTING STOREFRONT	✓	✓	-	EXISTING DOOR WITH PUSH-FULL HARDWARE & LOCK; PLACE SIGN ABOVE DOOR READING "THIS DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED"
2	3'-0"x7'-0"	EXISTING INSULATED METAL	EXISTING METAL	✓	✓	✓	EXISTING EGRESS DOOR W/ PANIC BAR DEVICE
3	3'-0"x7'-0"	BRONZE ALUM. STOREFRONT TO MATCH	MATCH STOREFRONT	-	✓	-	PUSH/FULL HARDWARE TO MATCH EXISTING AT ENTRY DOOR
4	3'-0"x7'-0"	SOLID CORE WOOD	HOLLOW METAL	✓	-	-	LEVER HANDLE W/ OFFICE FUNCTION LOCK
5	3'-0"x7'-0"	SOLID CORE WOOD	HOLLOW METAL	-	-	-	LEVER HANDLE
6	3'-0"x7'-0"	SOLID CORE WOOD	HOLLOW METAL	-	-	-	LEVER HANDLE
7	3'-0"x7'-0"	EXISTING DOOR	EXISTING	✓	-	-	LEVER HANDLE W/ OFFICE FUNCTION LOCK
8	3'-0"x7'-0"	EXISTING DOOR	EXISTING	-	✓	-	LEVER HANDLE
9	3'-0"x7'-0"	SOLID CORE WOOD	HOLLOW METAL	✓	-	✓	LEVER HANDLE W/ STORAGE FUNCTION LOCK
10	3'-0"x7'-0"	EXISTING DOOR	EXISTING	✓	-	✓	LEVER HANDLE W/ RESTROOM FUNCTION LOCK
11	3'-0"x7'-0"	SOLID CORE WOOD	HOLLOW METAL	-	✓	✓	PUSH/FULL HARDWARE
12	3'-0"x7'-0"	SOLID CORE WOOD	HOLLOW METAL	-	✓	✓	PUSH/FULL HARDWARE

DOOR NOTES:

- * ALL DOORS SHALL HAVE ADA APPROVED LEVER HANDLES UNLESS NOTED OTHERWISE
- * ALL NEW LOCKS AND HARDWARE SHALL BE MANUF. BY SCHLAGE OR EQ.
- * PROVIDE DOOR STOPS FOR ALL DOORS IN LOCATIONS WHERE THEY WOULD NORMALLY BE NEEDED
- * ALL WOOD DOORS SHALL BE SOLID CORE PREMIUM GRADE WITH PARTICLE CORE (GPC) WITH OAK VENEER
- * ALL NEW LOCKS AND HARDWARE SHALL BE MANUF. BY SCHLAGE OR EQ. ALL EGRESS DOORS SHALL BE READILY OPENED FROM THE SIDE OF EGRESS WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE. ALL FLUSH/DEAD BOLTS SHALL BE PROHIBITED.
- * HARDWARE SUPPLIER SHALL BE RESPONSIBLE TO SEE THAT ALL HARDWARE MEETS OR EXCEEDS THE 2018 IBC
- * INTERNATIONAL BUILDING CODE HARDWARE AND HOLLOW METAL SUPPLIER SHALL BE THE SAME.



ACCESSIBILITY DETAILS

NO SCALE

RESTROOM LEGEND:

- 1) Indicates 5'-0" diameter clearance for wheelchair.
- 2) Water closets with seat 17" to 19" above finished floor. Trap shall not extend in front of, or be flush with the lip of the bowl.
- 3) 42" long grab bar installed per Accessibility Details on this sheet. Provide FRT blocking in the wall as req'd.
- 4) 36" long grab bar installed per Accessibility Details on this sheet. Provide FRT blocking in the wall as req'd.
- 5) 18" long vertical grab bar installed per Accessibility Details on this sheet. Provide FRT blocking in the wall as req'd.
- 6) Lavatory shall be mounted with the rim no higher than 34" above finish floor. With clearance of at least 21" above finish floor to the bottom of the apron.
- 7) Provide toilet paper dispenser mounted 19" above finished floor. (ADA approved)
- 8) Mirror Bobrick B-290 2486 shall be mounted with the bottom edge of the reflecting surface no higher than 40" above the finish floor.
- 9) A.D.A. APPROVED RESTROOM SIGNAGE- CENTERED 60" A.F.F.
- 10) Hot water and drain pipes under lavatories shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories.
- 11) Provide paper towel dispenser. Mount with operator not to exceed 48" above finished floor. (ADA approved)
- 12) Trash bin provided by Tenant's vendor
- 13) BABY CHANGING STATION; PROVIDE BLOCKING
- 14) ADA FOLD-DOWN SEAT, INSTALL FRT BLOCKING
- 15) SHOWER GRAB BARS AS REQ'D BY ACCESSIBILITY CODE
- 16) HI-LOW DRINKING FOUNTAIN, ONE WITH BOTTLE FILLER, RE: PLUMBING; INSTALL PER ACCESSIBILITY CODE
- 17) OWNER SUPPLIED LOCKERS (15' X 20') AND ACCESSORIES. S.C. TO INSTALL; COORDINATE W/ OWNER
- 18) OWNER SUPPLIED LOCKERS (15' X 20') AND ACCESSORIES. S.C. TO INSTALL; COORDINATE W/ OWNER
- 19) SHOWER CURTAIN AND SHOWER CURTAIN ROD; SUPPLIED BY TENANT; S.C. TO PROVIDE BLOCKING AND INSTALL
- 20) CORIAN SOLID SURFACE COUNTER - COLOR AS SELECTED BY TENANT; TOP OF COUNTER AT 38" A.F.F.
- 21) CUSTOM TILE SHOWER; POUR CONCRETE TO SLOPE 1/8" PER FOOT TO DRAIN; PAINT CONCRETE FLOOR AND JOINT FROM FLOOR TO WALL W/ REDGARD WATERPROOFING MEMBRANE; RUN UP WALL MIN. 8"
- 22) 4X4 GRATED FLOOR DRAIN
- 23) SHOWER WALL TILE OVER 1/2" CONCRETE BOARD; PAINT CONCRETE BOARD JOINTS AND FASTENER HEADS W/ REDGARD WATERPROOFING BY CUSTOM BUILDING PRODUCTS WWW.CUSTOMBUILDINGPRODUCTS.COM

NOT FOR CONSTRUCTION

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KASTER ARCHITECTS INC
ARCHITECTURE • PLANNING • INTERIOR DESIGN

TENANT FINISH FOR:
BLUSH FITNESS
139 NORTH BELT HIGHWAY #M
SAINT JOSEPH, MISSOURI

DATE: FEB. 14, 2023
REVISED SHEET NUMBER
A2.2
OF SHEETS
KAI JOB NO. 2301-A