

CODE ANALYSIS:

BUILDING CODES

BUILDING WAS DESIGNED UNDER THE FOLLOWING CODES:
 AMERICANS WITH DISABILITIES ACT (ADA-AS)
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL FIRE CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 EXISTING BUILDINGS CODE
 2018 INTERNATIONAL ENERGY CODE
 2017 NATIONAL ELECTRICAL CODE
 ICC/ANSI A117.1-2009 ACCESSIBLE & USABLE BUILDINGS & FACILITIES

OCCUPANCY CLASSIFICATION

A-3 (FITNESS CENTER W/ 50+ OCCUPANTS)

CONSTRUCTION TYPE

VB CONSTRUCTION (FULLY SPRINKLED)
 EXISTING FACILITY HAS AN EXISTING SPRINKLER SYSTEM & C. SHALL
 MODIFY EXISTING SPRINKLER SYSTEM AS REQUIRED FOR SPACE LAYOUT
 FIRE SPRINKLER DRAWINGS TO BE PREPARED & SUBMITTED BY
 SPRINKLER CONTRACTOR TO BE SUBMITTED UNDER SEPARATE COVER

FACILITY AREA

EXISTING AREA (GROSS): 4,517 SQ. FT.

OCCUPANT LOAD

WAITING: $30 / 7 = 4.3$ OCCUPANTS
 OFFICE: $267 / 150 = 1.8$ OCCUPANTS
 KIDS AREA: $180 / 50 = 3.6$ OCCUPANTS
 FITNESS AREA: $2,841 / 50 = 56.8$ OCCUPANTS
 MECH./I.T./STORAGE: $143 / 300 = 0.5$ OCCUPANTS
 OCCUPANT LOAD TOTAL: 67 OCCUPANTS

EXITING CALCULATION

67 OCCUPANTS X 0.2 = 14 INCHES REQUIRED
 72 INCHES PROVIDED

TOILET CALCULATIONS

67 OCCUPANTS OCCUPANTS (95% FEMALE 15% MALE)
 57 FEMALE OCCUPANTS & 10 MALE OCCUPANTS
 FEMALES | TOILET PER 65 OCCUPANTS = 1.1 TOILETS REQUIRED AND 0.93 LAYS
 MALES | TOILET PER 125 OCCUPANTS = 0.1 TOILETS REQUIRED AND 0.1 LAYS
 2 TOILETS IN WOMEN'S LOCKER ROOM AND 1 UNISEX TOILET PROVIDED
 1 MOP SINKS & HI-LOW DRINKING FOUNTAIN PROVIDED W/ BOTTLE FILLER MOUNT PER
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SEPT. 15, 2010 PER SECTION 602

TRASH ENCLOSURE

THIS BUILDING SHALL SHARE EXISTING TRASH ENCLOSURE
 UNIT THE DEVELOPMENT. TENANT SHALL COORDINATE WITH
 LANDLORD FOR LOCATION OF ALL TRASH/WASTE

PORTABLE FIRE EXTINGUISHERS

PROVIDE FIRE EXTINGUISHERS AS REQ'D PER NFPA-10.

GENERAL NOTES:

- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A-201, LATEST EDITION, IS TO BE CONSIDERED A PART OF THESE BUILDING PLANS ALTHOUGH NOT ENCLOSED HEREIN. ALL CONTRACTORS SHALL BE HELD RESPONSIBLE FOR THE KNOWLEDGE OF ALL ARTICLES OF THE DOCUMENT AND SHALL BE BOUND BY THEM. COPIES WILL BE AVAILABLE AT THE ARCHITECT'S OFFICE FOR STUDY UPON REQUEST.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL LAWS, CODES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- CONTRACTOR AND SUBCONTRACTORS AND AGENTS SHALL HOLD ALL APPLICABLE AND REQUIRED LICENSES FOR THE JURISDICTION WHERE THE WORK WILL BE PERFORMED.
- CONTRACTOR SHALL ACQUAINT THEMSELVES WITH ALL LANDLORD / DEVELOPER REQUIREMENTS AND SHALL COMPLY FULLY WITH SUCH.
- TO ENSURE COORDINATION BETWEEN DISCIPLINES, CONTRACTOR SHALL SUPPLY EACH SUBCONTRACTOR OR AGENT WITH A FULL SET OF CONSTRUCTION DOCUMENTS FOR THEIR USE.
- MAINTAIN SAFETY AND APPROPRIATE FIRE PREVENTION PROCEDURES AT ALL TIMES DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
- ALL AREAS OF EXISTING LANDSCAPING DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.
- CONTRACTOR SHALL VERIFY AND PROVIDE ALL UTILITY CONNECTIONS (PLUMBING, ELECTRICAL, GAS, ETC. IN THE FORM OF SUPPLY AND DRAIN PIPES, CONDUIT AND PULLING WIRES, ETC.) RELATED TO EQUIPMENT AND APPLIANCES.
- DIMENSIONS ARE TO FACE OF FINISHED MATERIAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES IN THE FIELD AND PROVIDE ADDITIONAL UTILITY SERVICE AS REQUIRED TO MEET THE SCOPE AND INTENT OF THE WORK.
- PROVIDE FIRE EXTINGUISHERS PER APPLICABLE CODES. VERIFY FINAL LOCATION WITH A.H.J.
- CONTRACTOR SHALL COORDINATE ALL WORK THAT AFFECTS THE ROOF WITH THE LANDLORD AND CONTRACT WITH THE SHELL ROOFING SUBCONTRACTOR TO PERFORM ALL WORK OF PENETRATING THE ROOF FOR ANY AND ALL ITEMS ADDED ON THE ROOF AND PATCHING/SEALING OF SUCH PENETRATIONS DURING AND AFTER EQUIPMENT INSTALLATION.
- CONTRACTOR SHALL REVIEW THE DIMENSIONS OF ALL EQUIPMENT IN THE PROJECT REGARDLESS OF THE SOURCE AND COORDINATE ACCESS TO THE SPACE AND VERIFY CLEAR FLOOR SPACE IS PROVIDED AS REQUIRED TO ENSURE EASE OF INSTALLATION.
- CONTRACTOR TO VERIFY THAT EQUIPMENT HAS APPROPRIATE CLEARANCES DURING INSTALLATION INCLUDING MAINTENANCE CLEARANCES; VERIFY THOSE WHICH INVOLVE CONFLICTING UTILITIES.
- PROVIDE AND INSTALL ALL NECESSARY INWALL FRAMING REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, RAILINGS, KITCHEN EQUIPMENT, ETC. AS PER PLANS.
- ALL SURFACES WHICH ARE INDICATED TO BE FINISHED OR PAINTED SHALL BE PREPARED, SANDED, TREATED AND PRIMED IN STRICT ACCORDANCE WITH COMMERCIAL QUALITY STANDARDS, AND IN STRICT ACCORDANCE WITH FINISH MATERIAL MANUFACTURER'S INSTRUCTIONS.
- ALL FINISH SURFACES PENETRATED SUCH AS CEILING TILES AND MILLWORK COUNTERS FOR ANY REASON MUST HAVE AN ASSOCIATED SMOKE-RET APPROVED FOR THAT USE.
- PROVIDE OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES. DESIGN TO BE APPROVED BY ARCHITECT.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STRUCTURE FOR INTERIOR PARTITIONS, SOFFITS, CEILINGS, PLATFORMS, ETC. WHETHER SHOWN ON THE DRAWINGS OR NOT.
- PRIOR TO CUTTING OR MODIFYING ANY UTILITY LINE WITHIN THE SPACE, WHETHER SHOWN IN THESE DOCUMENTS OR NOT, COORDINATE WITH LANDLORD.
- ALL BLOCKING MUST BE FIRE OR OTHERWISE INCOMBUSTIBLE.
- PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK OR EXISTING UTILITIES INDICATED IN THE DRAWINGS ARE APPROXIMATE, ARE BASED ON INFORMATION PROVIDED, BUT HAVE NOT BEEN FIELD VERIFIED. PROVIDE CONNECTIONS AS REQUIRED BY ACTUAL UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS AND MAKE ALL CONNECTIONS REQUIRED. LOCATIONS OF EXISTING UTILITIES INDICATED IN THE DRAWINGS ARE APPROXIMATE, ARE BASED ON INFORMATION PROVIDED, BUT HAVE NOT BEEN FIELD VERIFIED. PROVIDE CONNECTIONS AS REQUIRED BY ACTUAL UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER.
- PROTECT EXISTING CONSTRUCTION FROM DAMAGE AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS AT NO COST TO OWNER.
- PROVIDE TEMPORARY DUSTPROOF ENCLOSURE BETWEEN THE CONSTRUCTION AREA AND EXISTING OCCUPIED SPACES WHERE CONSTRUCTION IS OPEN TO EXISTING SPACES.
- PERFORM WORK BY MEANS THAT WILL NOT PRODUCE NOISE, VIBRATION, ODORS OR DUST WHICH COULD AFFECT OPERATIONS OR USE BY OTHER TENANTS.
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- PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK. CUT & PATCH OFF ED & EXISTING PARTITIONS AS REQUIRED FOR INSTALLATION OF ELEC & PLUMBING SERVICE LINES AND FOR INSTALLATION OF WALL BLOCKING. PROVIDE MIN. 8000 LB CONCRETE FOR RE-FILLING TRENCHES FILL WITH ADJACENT CONCRETE SLAB. INSTALL MIN. 10 MIL VAPOR BARRIER OVER GRANULAR FILL.
- PROVIDE COVER PLATES OR FINISHED CLOSURES AT ABANDONED WALL PENETRATIONS WHERE EXPOSED.
- PATCH AND REPAIR EXISTING DRYWALL/SUBSTRATES FOUND UNSUITABLE FOR INSTALLATION OF NEW FINISHES, AS REQUIRED.
- NO COMBUSTIBLE MATERIALS OR EQUIPMENT MAY BE INSTALLED IN THE PLenum.
- ALL WORK PERFORMED WHICH INVOLVES MODIFICATIONS OR PENETRATIONS OF THE EXISTING ROOF MUST BE PERFORMED BY LANDLORD'S ROOFER TO MAINTAIN THE ROOFING WARRANTY. &C. SHALL COORDINATE WITH LANDLORD TO CONTRACT WITH THE LANDLORD'S ROOFING CONTRACTOR FOR THE BUILDING.

CONSTRUCTION NOTES:

- LIMIT WORK TO OCCUR WITHIN THE PROJECT SITE, OR WITHIN OTHER AREAS DESIGNATED OR APPROVED FOR USE BY THE OWNER OR LANDLORD. IF NOT WITHIN THE PROJECT SITE, MAKE CONNECTIONS TO UTILITIES IN THE MOST EXPEDITIOUS MANNER POSSIBLE WITHOUT AFFECTING EXISTING CONSTRUCTION WORK.
- MAINTAIN EXISTING EXITS, EXIT ACCESS AND PROVIDE APPROPRIATE FIRE PREVENTION PROCEDURES DURING CONSTRUCTION.
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DRAWING INDEX:

Q1.0 CODE ANALYSIS & EGRESS PLAN

D2.0 DEMOLITION PLAN

A2.1 FLOOR PLAN

A2.2 ENLARGED PLANS, DETAILS & FINISHES

A2.3 REFLECTED CEILING PLANS

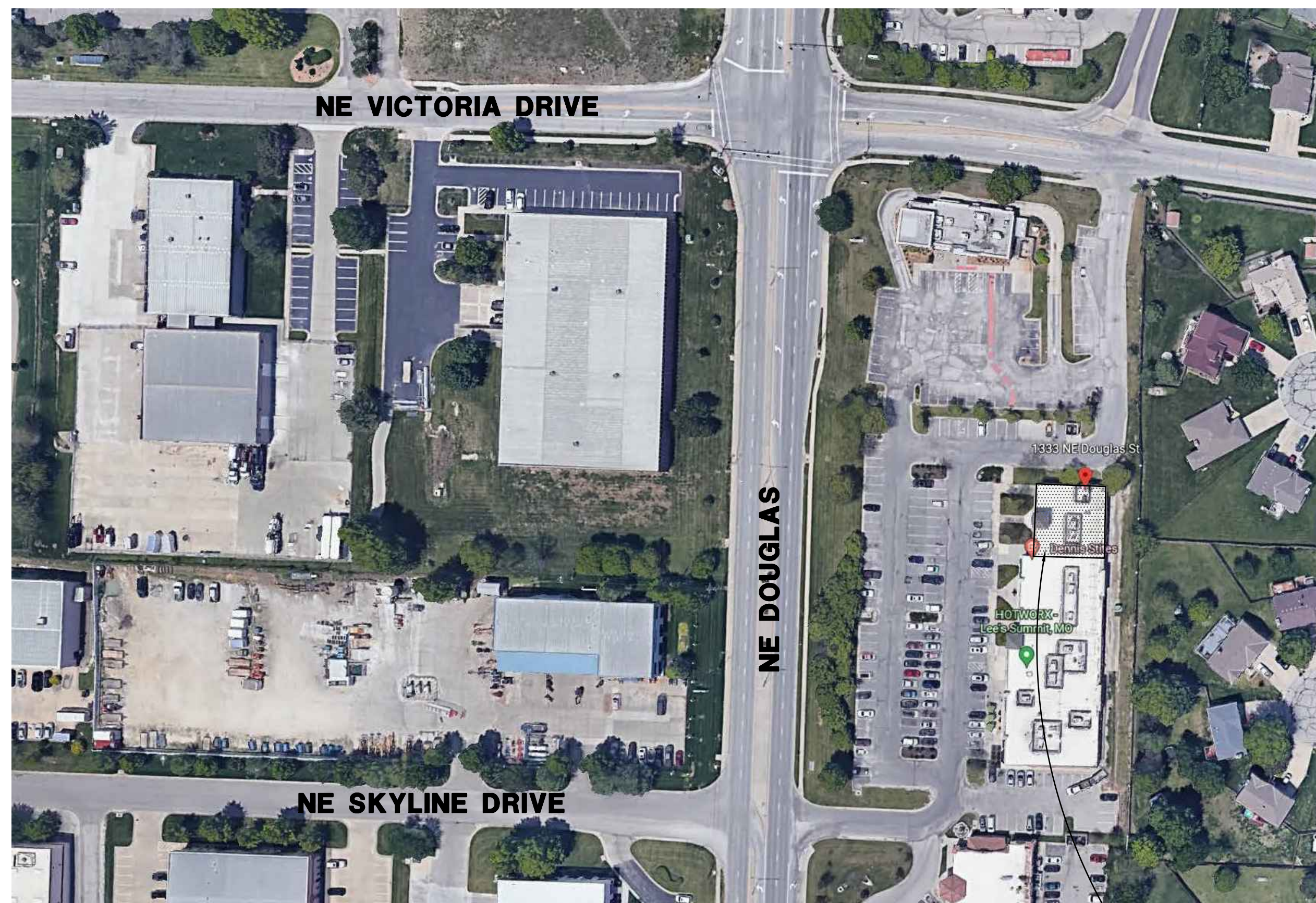
A2.4 FINISH PLAN

P01-01 PLUMBING PLAN

M01-01 MECHANICAL PLAN

E1.0 LIGHTING PLAN

E2.0 POWER PLAN



SITE MAP

SCALE // NTS

TENANT SPACE
1939 NORTHEAST DOUGLAS STREET

DEMOLITION NOTES:

- COORDINATE W/ TENANT TO DECIDE WHAT ELEMENTS TO BE DEMO'D WILL BE SALVAGED FOR RE-INSTALLATION. SALVAGED ITEMS SHALL BE EVALUATED TO ENSURE THEY MEET CODE, CLEAN AND STORE FOR RE-INSTALLATION.
- PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE LANDLORD'S CRITERIA.
- COORDINATE DEMOLITION WITH LANDLORD'S REPRESENTATIVE AND CONTACT LANDLORD IN ADVANCE OF ANY WORK INVOLVING CONNECTION TO LANDLORD'S BUILDING SYSTEMS OR REQUIRING TEMPORARY SHUT DOWN OF UTILITIES.
- PATCH AND REPAIR EXISTING DRYWALL/SUBSTRATES FOUND UNSUITABLE FOR INSTALLATION OF NEW FINISHES, AS REQUIRED.
- REMOVE EXISTING PARTITIONS, CEILINGS, SOFFITS AND ASSOCIATED FRAMING AND BRACINGS BACK TO STRUCTURE AS NECESSARY FOR NEW CONSTRUCTION. PROTECT EXISTING STRUCTURAL ELEMENTS NECESSARY FOR THE BUILDING SHELL.
- REMOVE MECHANICAL/ ELECTRICAL AND PLUMBING COMPONENTS AS REQUIRED TO FACILITATE THE NEW CONSTRUCTION AND THAT ARE NOT INDICATED TO BE REUSED. PROTECT UTILITIES REQUIRED FOR THE BUILDING SHELL, AT SLABS, CAP DISCONTINUED UTILITIES BELOW SLAB LEVEL, AND PATCH SLAB.
- REMOVE ALL EXISTING FINISH MATERIALS TO EXPOSED FRAMING OR STUDS, CONCRETE OR MASONRY WALLS AS APPLICABLE WITH EXPOSED STRUCTURE UNLESS OTHERWISE NOTED. TURN OVER SALVAGEABLE MATERIALS TO OWNER IF REQUESTED.
- WHERE INDICATED, REMOVE EXISTING FLOORING AND BASE AND REPAIR SUBSTRATE FLOOR SURFACE AS REQUIRED TO PROVIDE FLUSH INSTALLATION OF NEW FLOORING MATERIAL.
- DEMOLITION ALWAYS REVEALS CONDITIONS THAT ARE UNANTICIPATED, &C. TO REPORT TO ARCHITECT REVEALED CONDITIONS THAT WILL PROHIBIT DESIGN INTENT OF NEW CONSTRUCTION BEING FOLLOWED, &C. TO REPAIR EXPOSED AREAS OF CONSTRUCTION WITH LIKE MATERIALS AND FINISH TO MATCH ADJACENT.
- GENERAL CONTRACTOR IS TO PROTECT EXISTING MATERIALS AND SURFACES TO REMAIN - REPAIR ALL DAMAGE CAUSED DURING DEMOLITION AND ALL CONSTRUCTION PHASES BY THE GENERAL CONTRACTOR, THEIR SUBS OR THEIR AGENTS AT GENERAL CONTRACTOR'S EXPENSE TO 'LIKE NEW' CONDITION.
- THROUGHOUT THE TENANT SPACE, REMOVE EXISTING FLOORING & WALL BASE THROUGHOUT THE SPACE, AT EXISTING WALLS TO REMAIN; SCORE JOINT AT TOP OF WALL BASE PRIOR TO REMOVAL TO LIMIT DAMAGE TO WALL FINISH.

LIFE SAFETY NOTES:

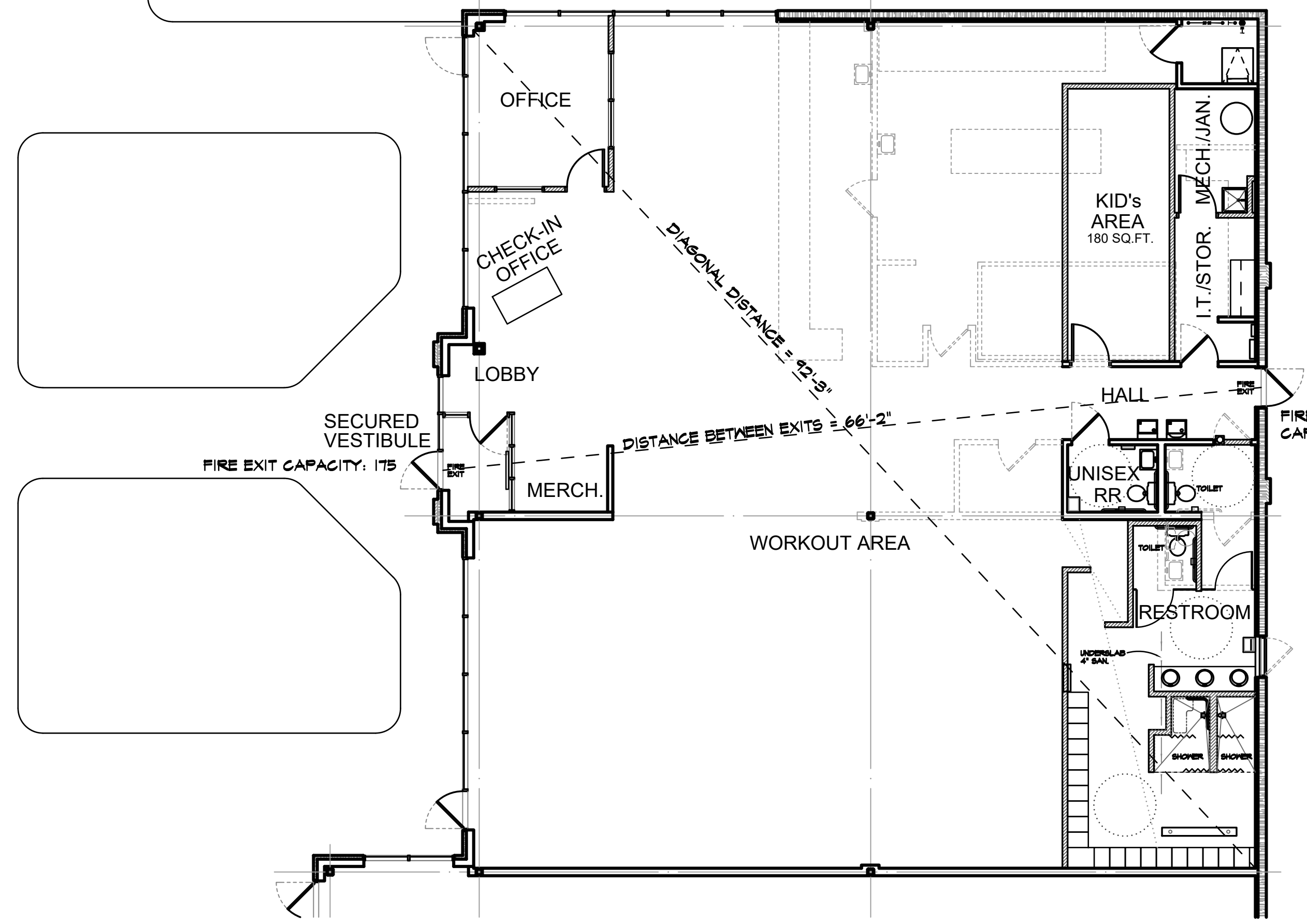
The general contractor for this building will oversee and maintain on-site control of the above referenced project during construction.

The procedures that are to be followed are started below, but are not limited to:

- Daily notification of the Fire Dept. when fire safety systems are taken out of service and reinstated.
- Tagging of valves and disconnects of life safety systems.
- Removal and replacement of smoke detectors to prevent false alarms.
- Continual supervision by property managers and building engineers.

NOTES:

- Any changes or considerations which affect the design intent must be called to the attention of the Project Architect and Project Coordinator immediately.
- All dimensions are critical, any discrepancies or revisions from dimensions indicated on these drawings must be called to the attention of the Architect immediately.
- Contractor shall examine site, field verify all dimensions and field conditions. Sub-contractors shall become familiar with conditions affecting the construction prior to submitting a bid. Failure to do so shall not be considered a just cause for future extras.
- Contractor shall provide all necessary temporary protection to ensure the safety of the general public during the construction phase.
- Contractor shall meet all local governmental code requirements for performance of all construction work.
- All construction shall be non-structural. There are no changes or alterations to the building superstructure.
- Construction must be completed per agreement.
- Contractor shall provide all labor, materials, equipment, and service required to execute and complete all items as shown on indicated on the drawings and as specified, including incidental items to effect a finished and complete job.
- All work shall comply with state and local codes and ordinances, and shall be done to the highest standards of craftsmanship.
- All waste materials, rubbish, debris, etc. shall be removed from the tenant's premises as soon as possible and not allowed to accumulate.
- The General Conditions of the Contract for Construction, AIA Document A-201, 1987 Edition, is to be considered a part of these Specifications although not enclosed herein. All Contractors shall be held responsible for the knowledge of all Articles of this document and shall be bound by them.
- Copies will be available at the Architect's office for study upon request.
- Unless noted otherwise, all cabinets shall be plastic laminate tops, backsplashes, doors and units- all interiors of cabinets shall be melamine unless noted otherwise.
- All wallcovering and carpet to have a Flammespread not-to-exceed 75.
- All tenant spaces shall have a lay-in acoustical ceiling set at 10'-0" AFF, unless noted otherwise.



EGRESS PLAN

SCALE // 1/8" = 1'-0"



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TENANT FINISH FOR:
BLUSH FITNESS
 1333 NE DOUGLAS STREET
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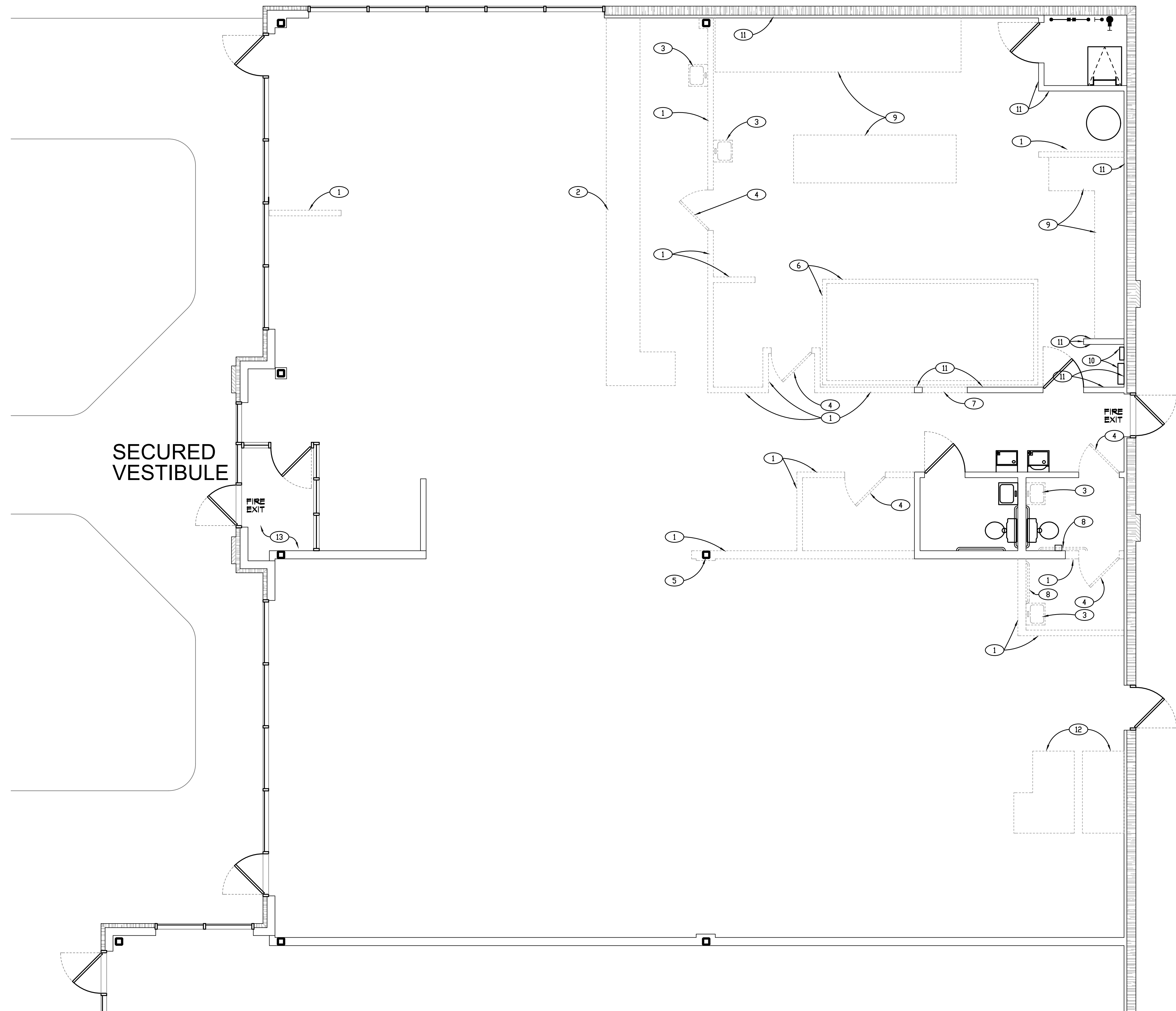
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 SHEET NUMBER
Q1.0
 OF SHEETS
 KAI JOB NO. 2222-A

GENERAL DEMOLITION NOTES:

- IN DINING AREA, REMOVE ALL BOOTHS AND ASSOCIATED MILLWORK
- REMOVE ALL LAY-IN CEILING AND HANGERS
- REMOVE ALL EXISTING FLOORING AND WALL BASE THROUGHOUT
- WHERE WALLS INDICATED TO BE REMOVED HAVE SEWER, CAP OFF SEWER BELOW THE SLAB IN COMPLIANCE WITH PLUMBING CODE
- WHERE WALLS INDICATED TO BE REMOVED HAVE WATER SUPPLY, CAP OFF LINES IN UPPER AREA OF STRUCTURE OR IN ADJACENT WALL TO REMAIN
- WHERE WALLS INDICATED TO BE REMOVED HAVE ELECTRICAL, REMOVE ELECTRICAL AND CONDUITS BACK TO NEAREST EXISTING J-BOX IN AREA THAT WILL REMAIN
- REMOVE ALL STAINLESS STEEL WALL PANELS
- REMOVE ALL EXISTING KITCHEN EQUIPMENT

DEMOLITION KEYNOTES: (X)

1. REMOVE EXISTING WALL; CLEAN UP/REPAIR SURFACES WHERE WALL ABUTS EXISTING WALLS TO REMAIN
2. REMOVE EXISTING COUNTER AND SUPPORT WALL
3. REMOVE EXISTING WALL-MOUNTED HAND-SINK
4. REMOVE EXISTING DOOR AND FRAME
5. REMOVE WALL AND FRAMING TO EXPOSE EXISTING STEEL COLUMN; CLEAN COLUMN AS REQ'D FOR FINAL PAINTING
6. REMOVE EXISTING COOLER PANEL SYSTEM
7. CREATE OPENING IN EXISTING WALL FOR NEW DOOR & FRAME; RE: A2.1
8. REMOVE EXISTING GRAB BAR
9. REMOVE EXISTING KITCHEN EQUIPMENT; DISPOSE OF IN A LEGAL MANNER
10. CLEAN EXISTING ELECTRICAL PANELS
11. REMOVE EXISTING GYP BOARD FROM THIS WALL FACE TO TOP OF WALL
12. SAWCUT EXISTING SLAB AND REMOVE GRAVEL AND EARTH BELOW AS REQ'D FOR NEW SLAB; RE: A2.1
13. REMOVE EXISTING LAY-IN CEILING OVER VESTIBULE



DEMOLITION PLAN
SCALE // 1/4" = 1'-0"
0 2 5 10



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NEW DOOR SCHEDULE

| NO. | SIZE | MAT'L./FINISH | FRAME | LOCK | CLOSER | KICKPLATE | NOTES |
|------|-------------|---------------------|--------------|------|--------|-----------|---|
| (X) | 3'-0"x7'-0" | EXISTING ALUM | EXISTING | ✓ | ✓ | - | EXISTING DOOR W/ PUSH-PULL HARDWARE & LOCK; ADD SIGN ABOVE DOOR READING "DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED" |
| (X2) | 3'-0"x7'-0" | EXISTING ALUM | EXISTING | - | ✓ | - | ADD LEVER HANDLE W/ KEYFOB MAGLOCK SYSTEM; G.C. TO PROVIDE ELECTRICAL CONNECTION COORDINATE W/ OWNER; DOOR TO ALLOW FREE EGRESS FROM INTERIOR |
| (X3) | 3'-0"x7'-0" | EXISTING ALUM | EXISTING | ✓ | ✓ | - | EXISTING EGRESS DOOR W/ PANIC BAR DEVICE |
| (X4) | 3'-0"x7'-0" | EXISTING HOLLOW MTL | EXISTING | ✓ | ✓ | - | EXISTING EGRESS DOOR W/ PANIC BAR DEVICE |
| (X5) | 3'-0"x7'-0" | EXISTING WOOD | EXISTING | ✓ | - | - | EXISTING DOOR & HARDWARE TO REMAIN |
| (X6) | 3'-0"x7'-0" | EXISTING WOOD | EXISTING | ✓ | - | ✓ | NEW LEVER HANDLE W/ STORAGE FUNCTION LOCK |
| (X7) | 3'-0"x7'-0" | EXISTING WOOD | EXISTING | ✓ | ✓ | - | EXISTING DOOR; REPLACE LEVER HANDLE & LOCK |
| (A) | 3'-0"x7'-0" | SOLID CORE WOOD | HOLLOW METAL | ✓ | - | - | LEVER HANDLE W/ OFFICE FUNCTION LOCK |
| (B) | 3'-0"x7'-0" | SOLID CORE WOOD | HOLLOW METAL | - | ✓ | - | LEVER HANDLE |
| (C) | 3'-0"x7'-0" | SOLID CORE WOOD | HOLLOW METAL | - | - | ✓ | LEVER HANDLE |

DOOR NOTES:

- * ALL DOORS SHALL HAVE ADA APPROVED LEVER HANDLES UNLESS NOTED OTHERWISE
- * ALL NEW LOCKS AND HARDWARE SHALL BE MANUF. BY SCHLAGE OR EQ.
- * PROVIDE DOOR STOPS FOR ALL DOORS IN LOCATIONS WHERE THEY WOULD NORMALLY BE NEEDED
- * ALL WOOD DOORS SHALL BE SOLID CORE PREMIUM GRADE WITH PARTICLE CORE (GPC) WITH OAK VENEER
- * ALL NEW LOCKS AND HARDWARE SHALL BE MANUF. BY SCHLAGE OR EQ. ALL EGRESS DOORS SHALL BE READILY OPENED FROM THE SIDE OF EGRESS WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE. ALL FLUSH/DEAD BOLTS SHALL BE PROHIBITED. HARDWARE SUPPLIER SHALL BE RESPONSIBLE TO SEE THAT ALL HARDWARE MEETS OR EXCEEDS THE 2018 IBC
- * INTERNATIONAL BUILDING CODE. HARDWARE AND HOLLOW METAL SUPPLIER SHALL BE THE SAME.

GENERAL PLAN NOTES:

- * DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL UNLESS NOTED OTHERWISE
- * TENANT AND/OR TENANT'S VENDOR SHALL SUPPLY AND INSTALL ALL EXERCISE EQUIPMENT
- * G.C. TO PROVIDE ALL FRIT IN-WALL BLOCKINGS AS REQ'D FOR EQUIPMENT; COORDINATE W/ TENANT
- * G.C. SHALL SUPPLY AND INSTALL DRINKING FOUNTAINS; RE: PLUMBING
- * I.T. EQUIPMENT PROVIDED BY TENANT'S I.T. CONSULTANT; G.C. TO PROVIDE ALL POWER REQUIREMENTS AND DATA CONDUITS FOR SYSTEM; COORDINATE W/ TENANT
- * AT TENANT'S OPTION, G.C. SHALL COORDINATE WITH TENANT'S SECURITY SYSTEM VENDOR TO COORDINATE INSTALLATION, SETUP AND ACTIVATION OF TENANT'S SECURITY SYSTEM. G.C. SHALL PROVIDE POWER REQUIREMENTS FOR SYSTEM COMPONENTS

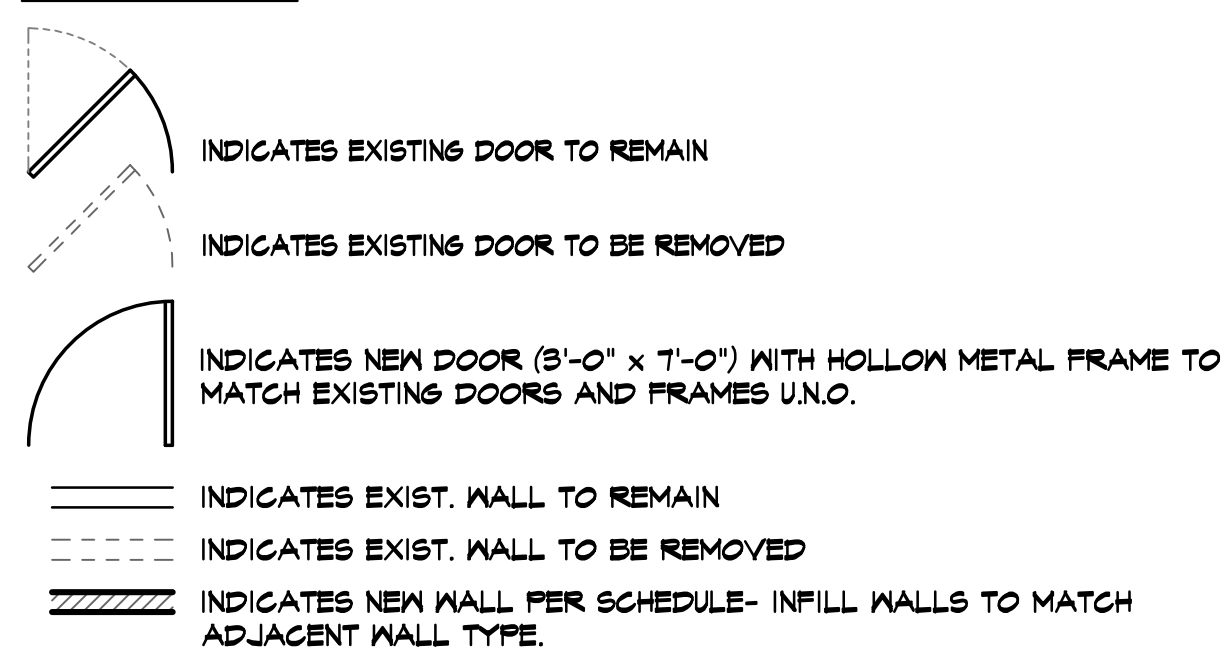
PLAN KEYNOTES:

- EXISTING EXTERIOR DOOR, LOCK OUT AND DEAD-OUT DOOR HANDLES & OPERATIONS HARDWARE; PROVIDE SIGN ON DOOR READING "NOT AN EXIT"; REMOVE EXIT SIGN
- NEW 1/4" TEMPERED GLASS WINDOWS IN HOLLOW METAL FRAME. SILL OF WINDOW TO BE AT 30" A.F.F. & TOP OF WINDOW TO MATCH ADJACENT DOOR HEADER AT 7'-0" A.F.F.
- FLOOR MOUNTED MOP SINK WITH FAUCET; RE: PLUMBING
- WATER HEATER; RE: PLUMBING
- NEW COUNTER @ 30" A.F.F. W/ CABINETS ABOVE AND BELOW
- EXISTING ELECTRICAL PANELS TO REMAIN
- EXISTING EXTERIOR DOOR TO REMAIN; CONFIRM HARDWARE IS CODE COMPLIANT AND REPLACE ANY NON-COMPLIANT HARDWARE; PRIME AND PAINT INTERIOR AND EXTERIOR OF DOOR & FRAME
- INFILL EXISTING OPENING WHERE DOOR & FRAME WAS REMOVED WITH CONSTRUCTION TO MATCH EXISTING; USE WATER RESISTANT GYP BOARD ON RESTROOM SIDE; INFILL STUD VOIDS WITH SOUND BATT INSULATION
- NEW HIGH-LOW DRINKING FOUNTAINS PER PLUMBING; ONE SHALL BE A BOTTLE-FILLER MODEL
- PROVIDE NEW, LAMINATE FINISH TOILET PARTITION
- FIRE EXTINGUISHER IN RECESSED CABINET
- PROVIDE NEW 5/8" GYP BOARD FROM FLOOR TO DECK AT EXTERIOR WALL
- REMOVE VINYL NUMBERS ABOVE DOOR
- PROVIDE TRANSLUCENT OBSCURING FILM ON EXISTING STOREFRONT WINDOWS; SPEC PER TENANT, TYP.
- ADD VINYL ADDRESS NUMBERS ABOVE DOOR, MATCH MOUNTING HEIGHT OF ADJACENT TENANTS
- OWNER SUPPLIED NEON SIGNAGE, G.C. TO PROVIDE ELECTRICAL, CENTER ON ENTRY DOOR
- PROVIDE END GAP DETAIL AT WALL TO STOREFRONT JOINT PER A/A2.2
- EXPOSED COLUMN, PRIME & PAINT
- FOUR NEW SLAB W/ REINFORCED CONCRETE AT SAKCUT PER NOTES BELOW; SLOPE NEW SLAB OF SHOWER STALLS 1/8" PER FOOT TO DRAIN; PROVIDE 4X4 METAL GRATED FLOOR DRAIN
- PROVIDE TEMPERED MIRRORS ON WALL FROM 15" A.F.F. TO 6'-6" A.F.F.; CONFIRM LOCATION W/ OWNER
- EXISTING EXTERIOR DOOR, LOCKOUT AND DEAD-OUT DOOR HANDLE & OPERATIONS HARDWARE, G.C. TO INFILL OPENING ON RESTROOM SIDE W/ 3 5/8" 20 GAGE METAL STUDS @ 16" O.C.; INFILL STUD VOIDS W/ 3/8" BATT INSULATION; SHEATH W/ 1 LAYER 5/8" WATER RESISTANT GYP BOARD ON EXPOSED SIDE
- OWNER PROVIDED CHECK IN DESK SHALL COMPLY WITH ADA 2010 STANDARDS SECTION 904.4 PROVIDING A WORK SURFACE 36" LONG MIN. AND 36" HIGH MAX. A.F.F.

WALL TYPES:

- ALL DRY WALL WALLS TO RECEIVE LEVEL FOUR (4) FINISH SURFACE UNLESS NOTED OTHERWISE
- 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" EACH SIDE
 - 3 5/8" 20 GA METAL STUDS @ 16" O.C. TO DECK W/ SLOTTED SLIP TRACK CONNECTION; BRACE AS REQ'D ABOVE FINISHED CEILING; SHEATH W/ 1 LAYER 5/8" EACH SIDE (USE WATER RESISTANT GYP BOARD ON RESTROOM/LOCKER ROOM SIDE)
 - 3 5/8" 25 GA METAL STUDS @ 16" O.C. TO 6" ABOVE FINISH CEILING; SHEATH W/ 1 LAYER 5/8" GYP BOARD EACH SIDE (USE WATER RESISTANT GYP BOARD ON JANITOR/RESTROOM ROOM SIDE)
 - 3 5/8" 25 GA METAL STUDS @ 16" O.C. TO 6" ABOVE FINISH CEILING; SHEATH W/ 1 LAYER WATER RESISTANT GYP BOARD ON EXPOSED SIDE
 - 3 5/8" 25 GA METAL STUDS @ 16" O.C. TO 6" ABOVE FINISH CEILING; SHEATH W/ 1 LAYER 1/2" CONCRETE BOARD ON SHOWER SIDE AND 1 LAYER 5/8" WATER RESISTANT GYP BOARD ON LOCKER ROOM SIDE
 - 6" 20 GA METAL STUDS @ 16" O.C. TO DECK WITH SLOTTED SLIP TRACK CONNECTION; SHEATH W/ ONE LAYER 1/2" CONCRETE BOARD ON EACH SIDE
 - 3 5/8" 25 GA METAL STUDS @ 16" O.C. TO 6" ABOVE FINISH CEILING; SHEATH W/ 1 LAYER WATER RESISTANT GYP BOARD ON LAV SIDE AND 1 LAYER 1/2" CONCRETE BOARD ON SHOWER SIDE

LEGEND:



FINISHES:

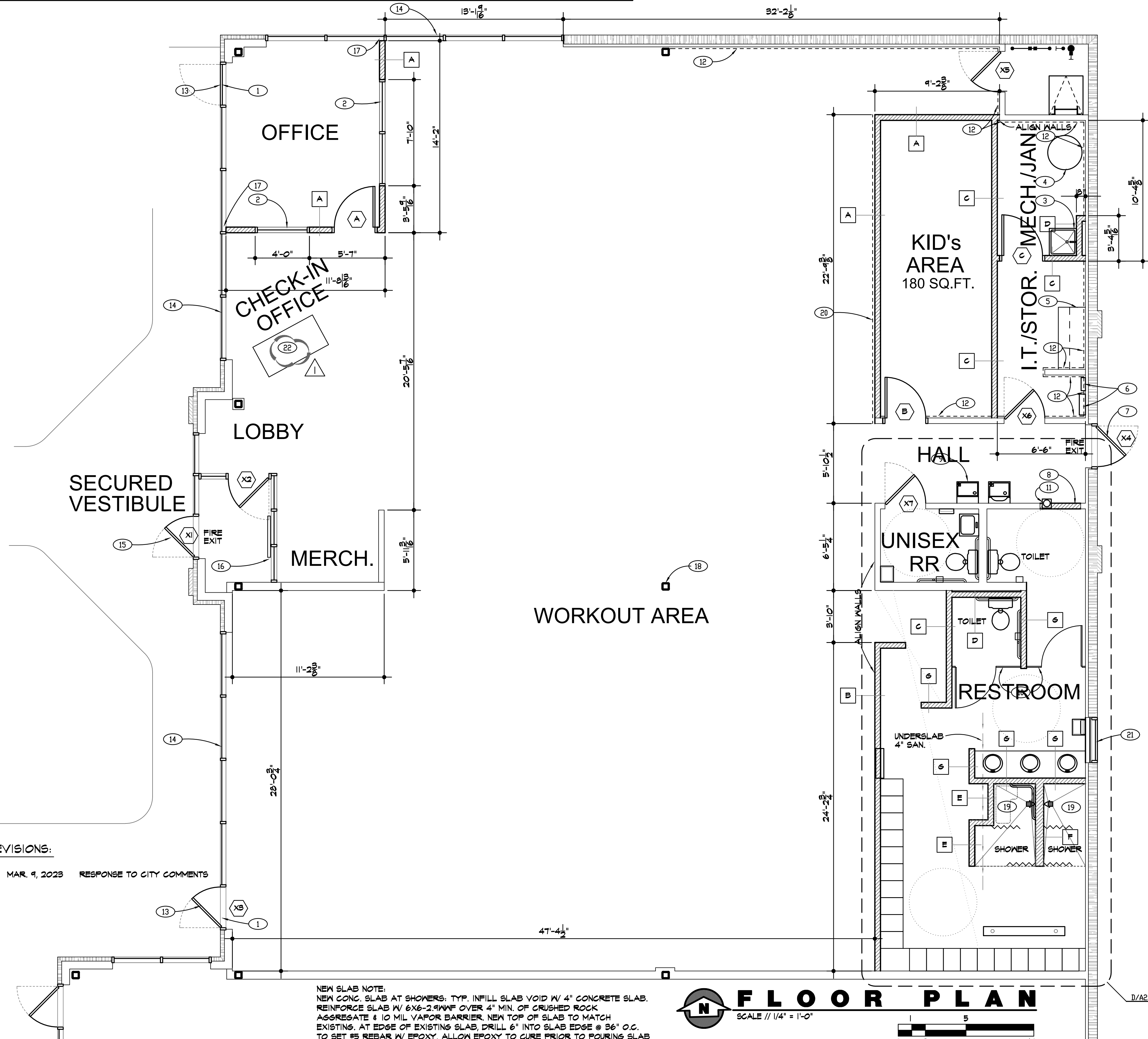
- * REMOVE EXISTING FINISHES AS REQ'D FOR THE INSTALLATION OF THE FINISHES LISTED ON A2.4.
- * CONFIRM SUBSTRATES MEET MANUFACTURER'S REQUIREMENTS
- * INSTALL FINISHES AS INDICATED ON A2.4

FURNISHINGS:

- FRANCHISEE SHALL PURCHASE THE FOLLOWING ITEMS FROM CORPORATE, TURN OVER TO G.C. FOR INSTALLATION; (G.C. TO PROVIDE FRIT BLOCKINGS IN WALLS AS REQ'D)
- * FLOWER WALLCOVERING
 - * SLATMALL
- G.C. SHALL ORDER AND INSTALL:
- BENCHES:**
- * 1 1/2" X 6'-0" FLAT WOOD BENCH W/ 1 1/4" MAPLE HARDWOOD TOP W/ HEAVY DUTY STEEL PEDESTALS BY SCHOOLLOCKERS.COM
 - * SKU: BPT-04XX W/ P416 DUSTY GRAY PEDESTALS
- RESTROOM ACCESSORIES:**
- * TOILET PAPER DISPENSER
 - * PAPER TOWEL DISPENSER AND DISPOSAL
 - * BABY CHANGING STATION
 - * SOAP DISPENSER
 - * AIR FRESHENER
 - * TOILET SEAT CLEANER
- FRANCHISEE TO ORDER ACCESSORIES FROM CINTAS CONTACT DENNIS HOLLINGSWORTH HOLLINGSWORTH@CINTAS.COM
- REPLACE RESTROOM ACCESSORIES IN EXISTING RESTROOMS. TYP.
- ALL RESTROOM ACCESSORIES ARE TO BE INSTALLED TO MEET ACCESSIBILITY CODE REQUIREMENTS

REVISIONS:

MAR. 9, 2023 RESPONSE TO CITY COMMENTS



NEW SLAB NOTE:
NEW CONC. SLAB AT SHOWERS: TYP. INFILL SLAB VOID W/ 4" CONCRETE SLAB. REINFORCE SLAB W/ 6X6-2.9MM OVER 4" MIN. OF CRUSHED ROCK AGGREGATE & 10 MIL VAPOR BARRIER. NEW TOP OF SLAB TO MATCH EXISTING. AT EDGE OF EXISTING SLAB, DRILL 6" INTO SLAB EDGE @ 36" O.C. TO SET #5 REBAR W/ EPOXY. ALLOW EPOXY TO CURE PRIOR TO POURING SLAB

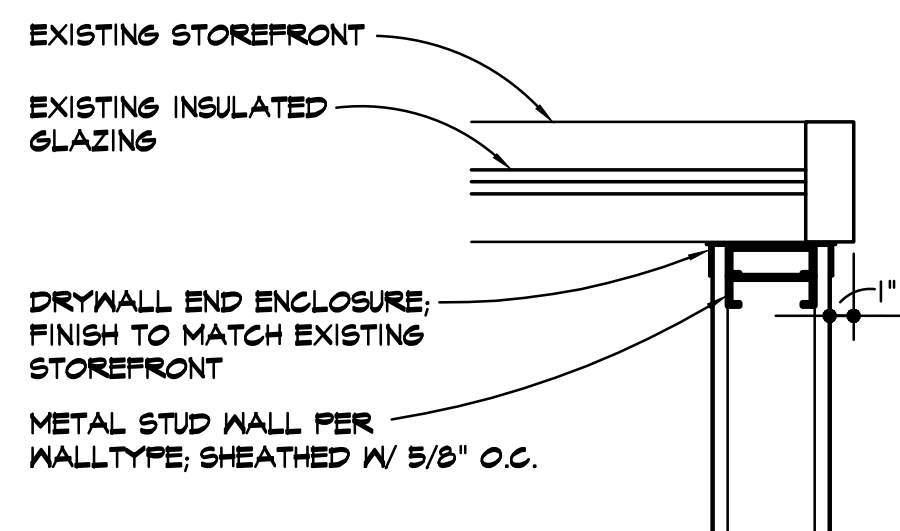


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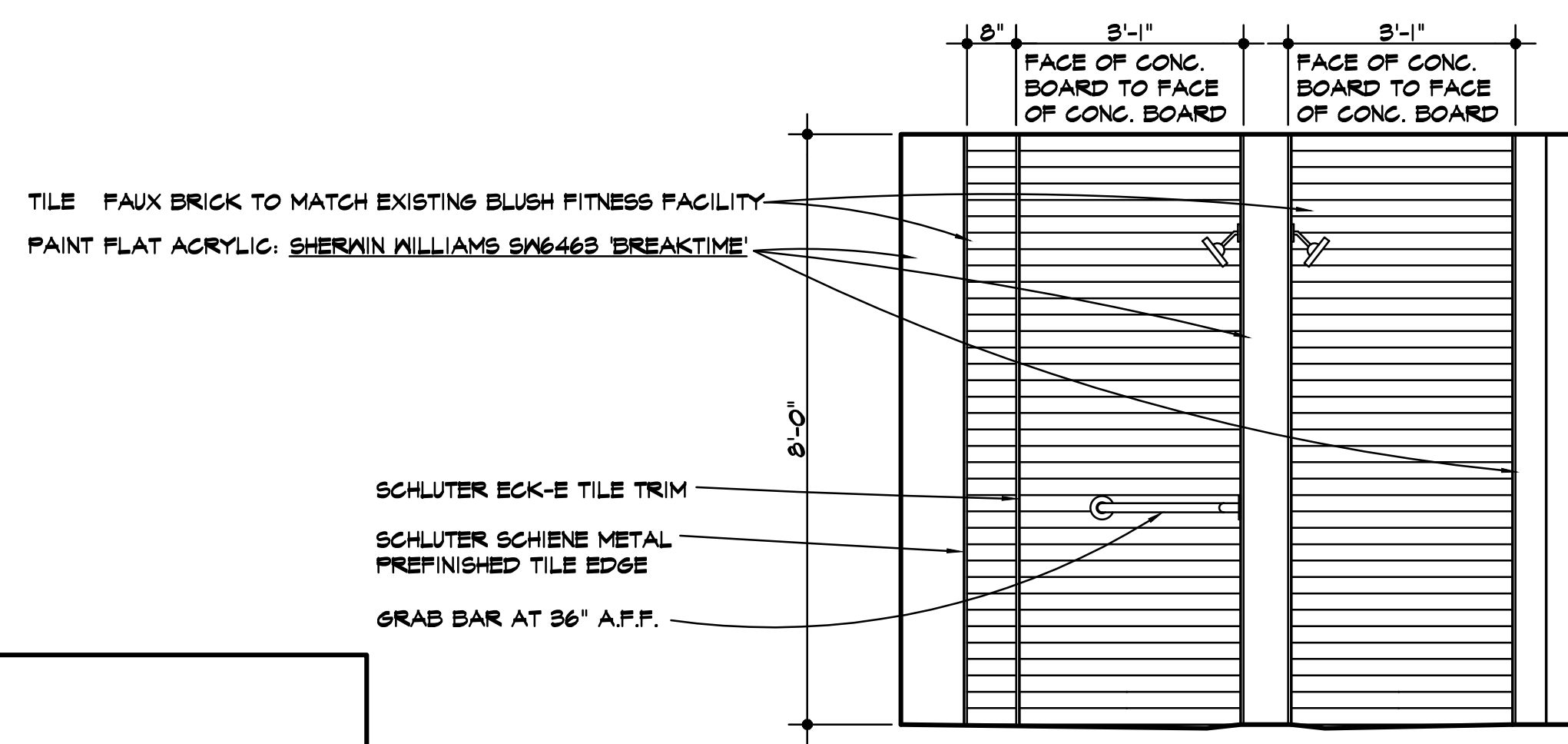
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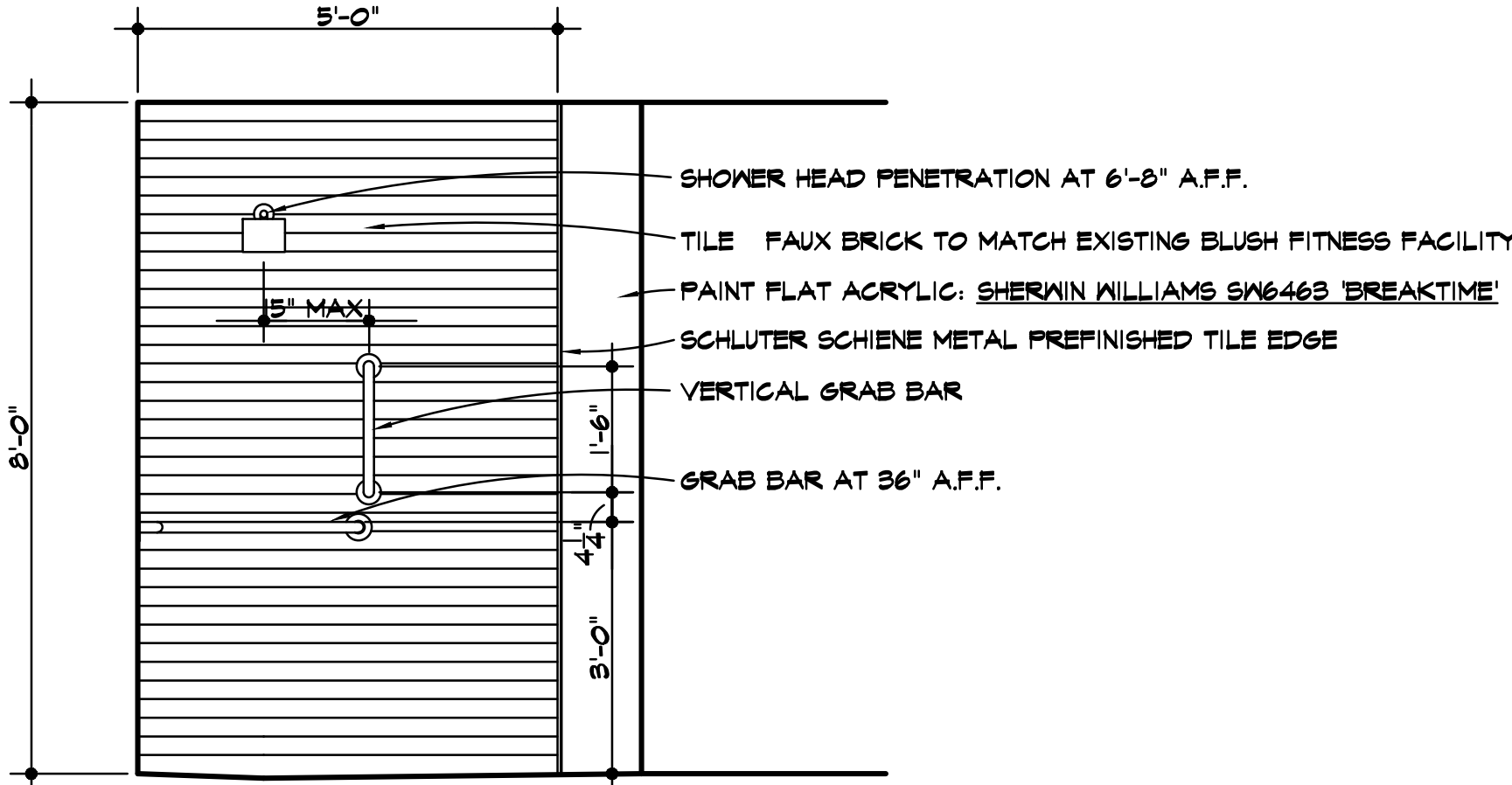
DATE: FEB. 22, 2023
REVISED:
SHEET NUMBER
A2.1
OF SHEETS
KAI JOB NO. 2222-A



ENDWALL DETAIL @ EXISTING STOREFRONT
SCALE // 1/2" = 1'-0"



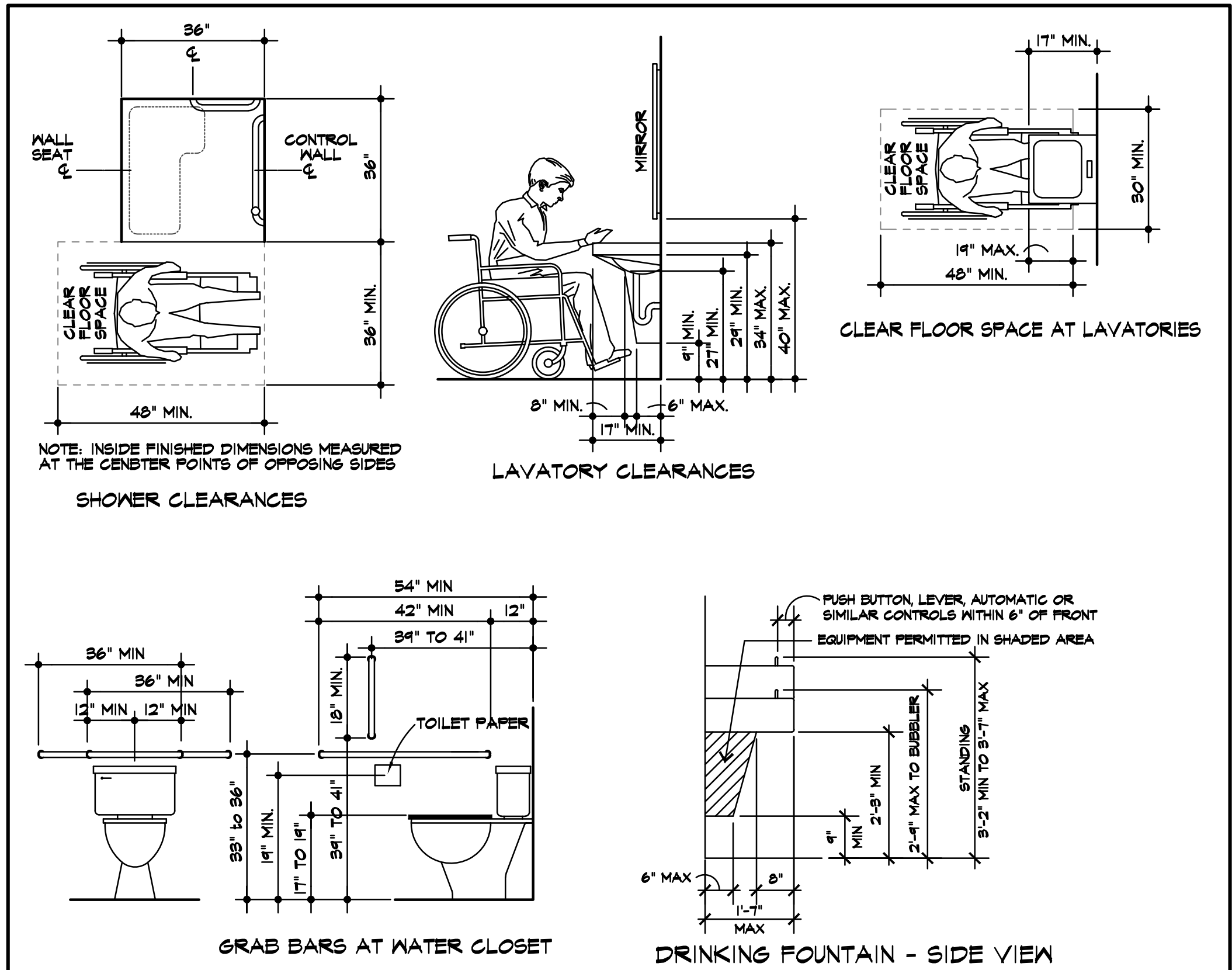
B SHOWER ELEVATIONS
SCALE // 1/2" = 1'-0"



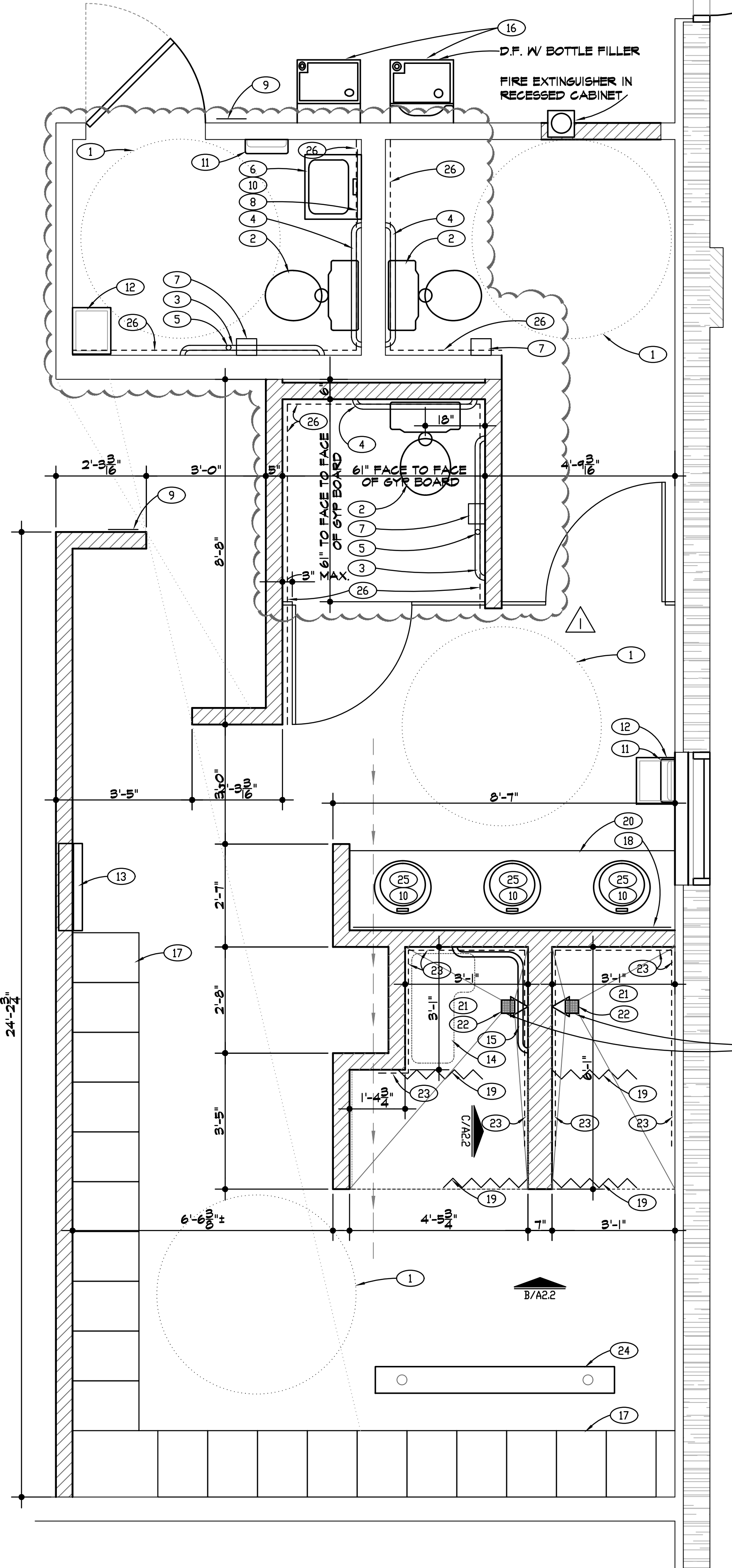
C SHOWER ELEVATIONS
SCALE // 1/2" = 1'-0"

RESTROOM LEGEND:

- 1) Indicates 5'-0" diameter clearance for wheelchair.
- 2) Water closet with seat 17" to 19" above finished floor. Trap shall not extend in front of, or be flush with the lip of the bowl.
- 3) 42" long grab bar installed per Accessibility Details on this sheet. Provide FRT blocking in the wall as req'd
- 4) 36" long grab bar installed per Accessibility Details on this sheet. Provide FRT blocking in the wall as req'd
- 5) 18" long vertical grab bar installed per Accessibility Details on this sheet. Provide FRT blocking in the wall as req'd
- 6) Lavatory shall be mounted with the rim no higher than 34" above finish floor. With clearance of at least 29" above finish floor to the bottom of the apron.
- 7) Provide toilet paper dispenser mounted 19" above finished floor. (ADA approved)
- 8) Mirror Bobrick B-290 2436 shall be mounted with the bottom edge of the reflecting surface no higher than 40" above the finish floor.
- 9) ADA APPROVED RESTROOM SIGNAGE- CENTERED 60" A.F.F.
- 10) Hot water and drain pipes under lavatories shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories.
- 11) Provide paper towel dispenser. Mount with operator not to exceed 48" above finished floor. (ADA approved)
- 12) Trash bin provided by Tenant's vendor
- 13) BABY CHANGING STATION; PROVIDE BLOCKING
- 14) ADA FOLD-DOWN SEAT; INSTALL FRT BLOCKING
- 15) SHOWER GRAB BARS AS REQ'D BY ACCESSIBILITY CODE; S.C. TO PROVIDE FRT BLOCKING IN WALLS AS REQ'D
- 16) HI-LOW DRINKING FOUNTAIN, ONE WITH BOTTLE FILLER; RE: PLUMBING; INSTALL PER ACCESSIBILITY CODE
- 17) OWNER SUPPLIED LOCKERS (5' X 20") AND ACCESSORIES. S.C. TO INSTALL; COORDINATE W/ OWNER
- 18) Mirror mounted with the bottom edge of the reflecting surface no higher than 40" above the finish floor.
- 19) SHOWER CURTAIN AND SHOWER CURTAIN ROD; SUPPLIED BY TENANT; S.C. TO PROVIDE BLOCKING AND INSTALL
- 20) CORIAN SOLID SURFACE COUNTER - COLOR AS SELECTED BY TENANT; TOP OF COUNTER AT 33" A.F.F.
- 21) CUSTOM TILE SHOWER; POUR CONCRETE TO SLOPE 1/8" PER FOOT TO DRAIN; PAINT CONCRETE FLOOR AND JOINT FROM FLOOR TO WALL W/ REDGARD WATERPROOFING MEMBRANE; RUN UP WALL MIN. 8"
- 22) 4x4 GRATED FLOOR DRAIN; RE: PLUMBING
- 23) SHOWER WALL TILE OVER 1/2" CONCRETE BOARD; PAINT CONCRETE BOARD JOINTS AND FASTENER HEADS W/ REDGARD
- 24) 6' PREFINISHED WOOD BENCH W/ METAL BASE POSTS; RE: FURNISHINGS ON A2.1
- 25) COUNTERTOP LAV W/ FAUCET W/ INTEGRAL MIXING VALVE; RE: PLUMBING
- REDGARD WATERPROOFING BY CUSTOM BUILDING PRODUCTS WWW.CUSTOMBUILDINGPRODUCTS.COM
- 26) PROVIDE TILE ON WALL FROM FLOOR TO MIN. 48" A.F.F. TO MEET REQUIREMENTS OF 2015 IBC 1204.2.2



ACCESSIBILITY DETAILS
NO SCALE



FOUR SLAB TO SLOP FLOOR OF SHOWER STALLS 1/8" PER FOOT TO DRAIN; PROVIDE 4x4 GRATED FLOOR DRAIN

REVISIONS:
1 MAR. 9, 2023 RESPONSE TO CITY COMMENTS

ENLARGED PLAN
SCALE // 1/2" = 1'-0"
0 1 2 3



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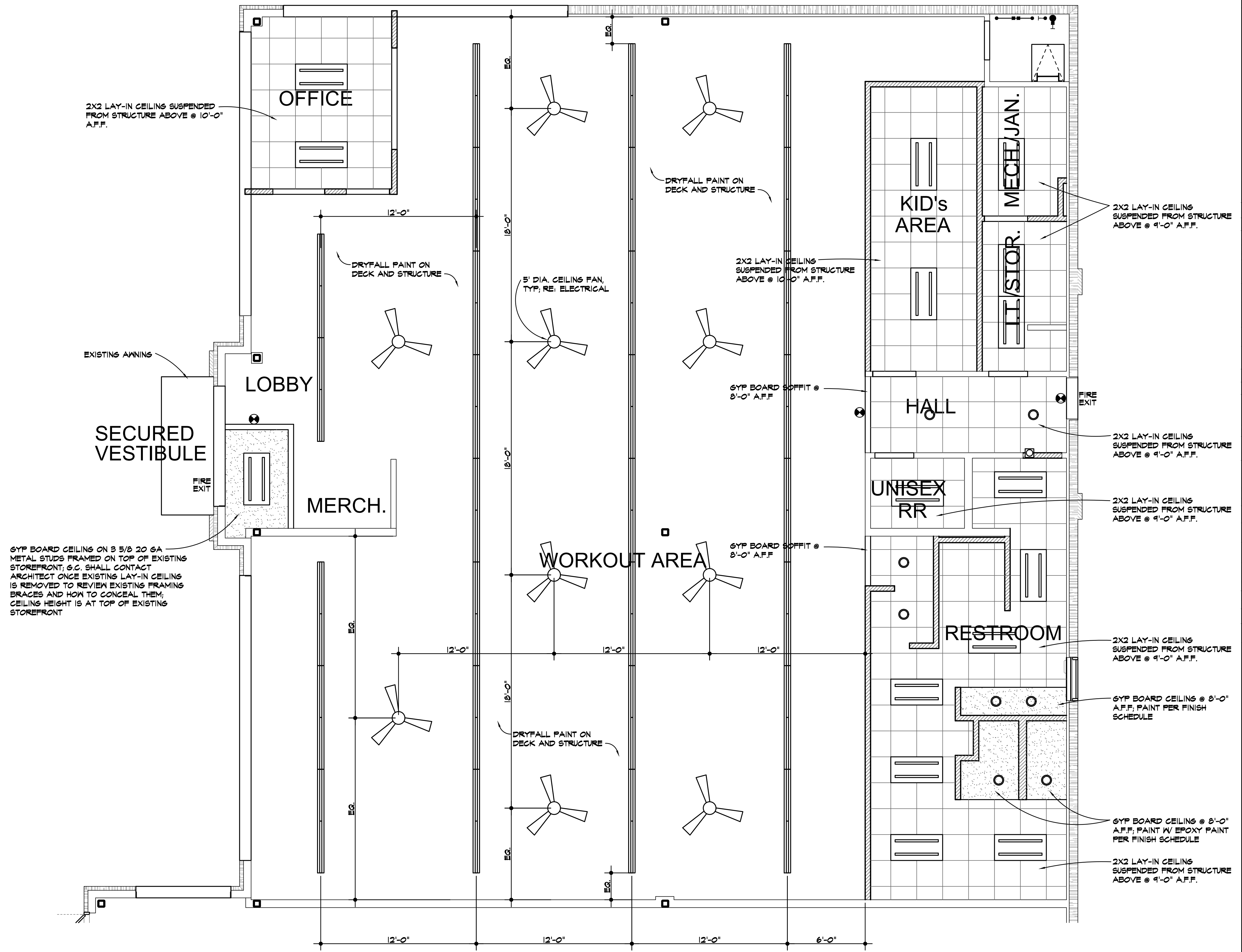
TENANT FINISH FOR:
BLUSH FITNESS
1333 NE DOUGLAS STREET
LEE'S SUMMIT, MISSOURI

DATE: FEB. 22, 2023
REVISED: NUMBER
SHEET: NUMBER
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KAI JOB NO. 2222-A



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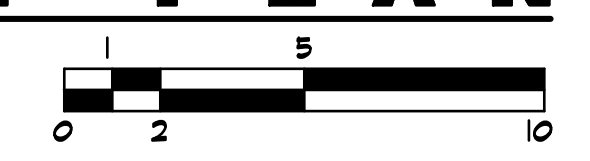
CEILING NOTES:
• FOR LAY-IN CEILING GRIDS IN SHOWER ROOMS, LOCKER ROOMS AND RESTROOM AREAS, USE ALUMINUM CEILING GRIDS



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TENANT FINISH FOR:
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REFLECTED CEILING PLAN
SCALE // 1/4" = 1'-0"



DATE FEB. 22, 2023
REVISED
SHEET NUMBER
A2.3
OF SHEETS
KAI JOB NO. 2222-A

BLUSH FITNESS ROOM COLORS AND FINISHES:

ALTERNATES NEED TO BE APPROVED BY ARCHITECT. www.kasterarchitects.com

SECURED VESTIBULE:

FLOOR: PARAMOUNT VINYL PLANK 1x48in.- NORTHERN HICKORY NATURAL AS MANUF. BY RIGIDCORE, CORNERSTONE COLLECTION
CEILING: T-BAR CEILINGS 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID AT TOP OF STOREFRONT HEADER (~4'-0" A.F.F.)
WALLS: FLAT ACRYLIC: SWT614 "PEPPERCORN"
BASE: 4" ROPPE BASE: 123 CHARCOAL

WORKOUT ROOM:

FLOOR: 2'X2' FULLY ADHERED CARPET TILE AS SELECTED BY OWNER AND PARAMOUNT VINYL PLANK 1x48in.- NORTHERN HICKORY NATURAL AS MANUF. BY RIGIDCORE, CORNERSTONE COLLECTION
CEILING: EXPOSED STRUCTURE PAINTED DRYFALL CHARCOAL
WALLS: FLAT ACRYLIC: SHERWIN WILLIAMS - SW6604 'YOUTHFUL CORAL' FLOWER WALLCOVERING WHERE INDICATED ON PLAN TO MATCH TOP OF STOREFRONT
BASE: 4" ROPPE BASE: 123 CHARCOAL

MERCHANDISE:

FLOOR: 2'X2' FULLY ADHERED CARPET TILE AS SELECTED BY OWNER
CEILING: GYP BOARD SOFFIT, PAINT SW1004 'SNOWBOUND' MATTE FINISH
WALLS: FLAT ACRYLIC: SWT614 "PEPPERCORN"
BASE: 4" ROPPE BASE: 123 CHARCOAL

OFFICE:

FLOOR: 2'X2' FULLY ADHERED CARPET TILE AS SELECTED BY OWNER
CEILING: T-BAR CEILINGS 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID AT TOP OF STOREFRONT HEADER (~4'-0" A.F.F.)
WALLS: FLAT ACRYLIC: SWT614 "PEPPERCORN"
BASE: 4" ROPPE BASE: 123 CHARCOAL

HALL:

FLOOR: 2'X2' FULLY ADHERED CARPET TILE AS SELECTED BY OWNER
CEILING: T-BAR CEILINGS 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID AT 9'-0" A.F.F.
WALLS: FLAT ACRYLIC: SWT614 "PEPPERCORN"
BASE: 4" ROPPE BASE: 123 CHARCOAL

I.T./STORAGE:

FLOOR: 2'X2' FULLY ADHERED CARPET TILE AS SELECTED BY OWNER
CEILING: T-BAR CEILING 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID 9'-0" A.F.F.
WALLS: FLAT ACRYLIC: SWT614 "PEPPERCORN"
BASE: 4" ROPPE BASE: 123 CHARCOAL

MECHANICAL/JANITORIAL:

FLOOR: NON-SLIP EPOXY
CEILING: T-BAR CEILINGS 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID AT 9'-0" A.F.F.
WALLS: FLAT ACRYLIC: SWT614 "PEPPERCORN" PROVIDE FRP PANELS TO CEILING WHERE SHOWN
BASE: 4" ROPPE BASE: 123 CHARCOAL

UNISEX RESTROOM AND LOCKER TOILET AREA:

FLOOR: NON-SLIP EPOXY
CEILING: T-BAR CEILINGS 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID AT 9'-0" A.F.F.
WALLS: FLAT ACRYLIC PAINT: SHERWIN WILLIAMS SW6463 'BREAKTIME' WHERE TILE IS INDICATED ON WALLS ADJACENT TO TOILETS; PROVIDE OWNER SELECTED TILE TO 48" A.F.F. MIN.
BASE: 4" ROPPE BASE: 123 CHARCOAL

LOCKER ROOMS:

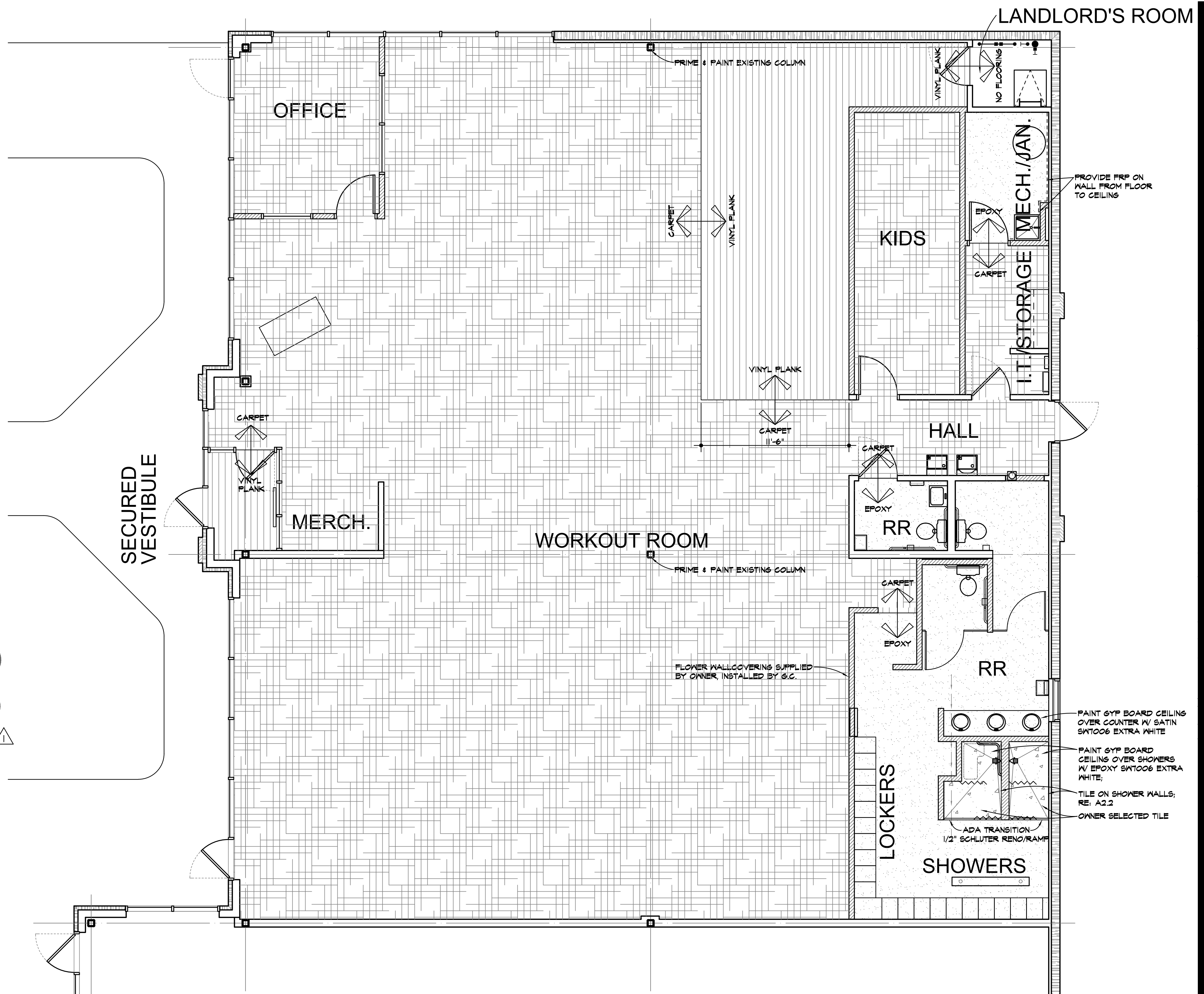
FLOOR: NON-SLIP EPOXY
CEILING: T-BAR CEILINGS 2'X2' DUNE (OR APPROVED EQUAL) WHITE TILE CEILING (NON-REGULAR) IN 15/16" ALUM. GRID AT 9'-0" A.F.F.
WALLS: FLAT ACRYLIC PAINT: SHERWIN WILLIAMS SW6463 'BREAKTIME'
BASE: 4" ROPPE BASE: 123 CHARCOAL

SHOWERS:

FLOOR: OWNER SELECTED TILE, MATCH EXISTING FACILITY
CEILING: EPOXY PAINT SW1006 'EXTRA WHITE'
WALLS: OWNER SELECTED TILE TO 8'-0" A.F.F.; MATCH EXISTING FACILITY
BASE: OWNER SELECTED TILE, MATCH EXISTING FACILITY WHERE WALL TILE OCCURS; WHERE TILE IS NOT PRESENT ON WALLS PROVIDE 4" ROPPE BASE: 123 CHARCOAL

FINISH NOTES: G.C. TO VERIFY ALL MATERIAL FINISHES W/ OWNER PRIOR TO ORDERING MATERIALS AND INSTALLATION

- FOR GYP BOARD WALLS, PROVIDE LEVEL 4 FINISH UNLESS NOTED OTHERWISE
- PAINT ALL FINISHED GYP BOARD (UNLESS NOTED OTHERWISE)
- FLOORING CONTRACTOR TO PROVIDE ALUMINUM TRANSITION STRIPS AT ALL POINTS OF FLOOR COVERING CHANGE
- REFERENCE MECH. / ELECT. FOR FLOOR BOX LOCATIONS
- ALL TOEKICKS IN MILLWORK TO BE RUBBER BASE PER SCHEDULE UNLESS NOTED OTHERWISE
- PAINT ALL WALLS NOTED TO RECEIVE PAINT W/ 1 PRIMER COAT AND MIN. 2 FINISH COATS
- PAINT TYPICAL INTERIOR DOOR FRAMES: 1 PRIMER COAT & 2 COATS ACRYLIC ENAMEL
- PER IBC 2018 1204.2.2 WALL AND PARTITIONS WITHIN TWO FEET OF WATER CLOSETS AND MOP SINKS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 48" A.F.F.
- PER IBC 2018 1204.2.3 AT SHOWER WALLS, PROVIDE A FINISH THAT HAS A SMOOTH, NON-ABSORBENT SURFACE TO 12" ABOVE THE SHOWER DRAIN



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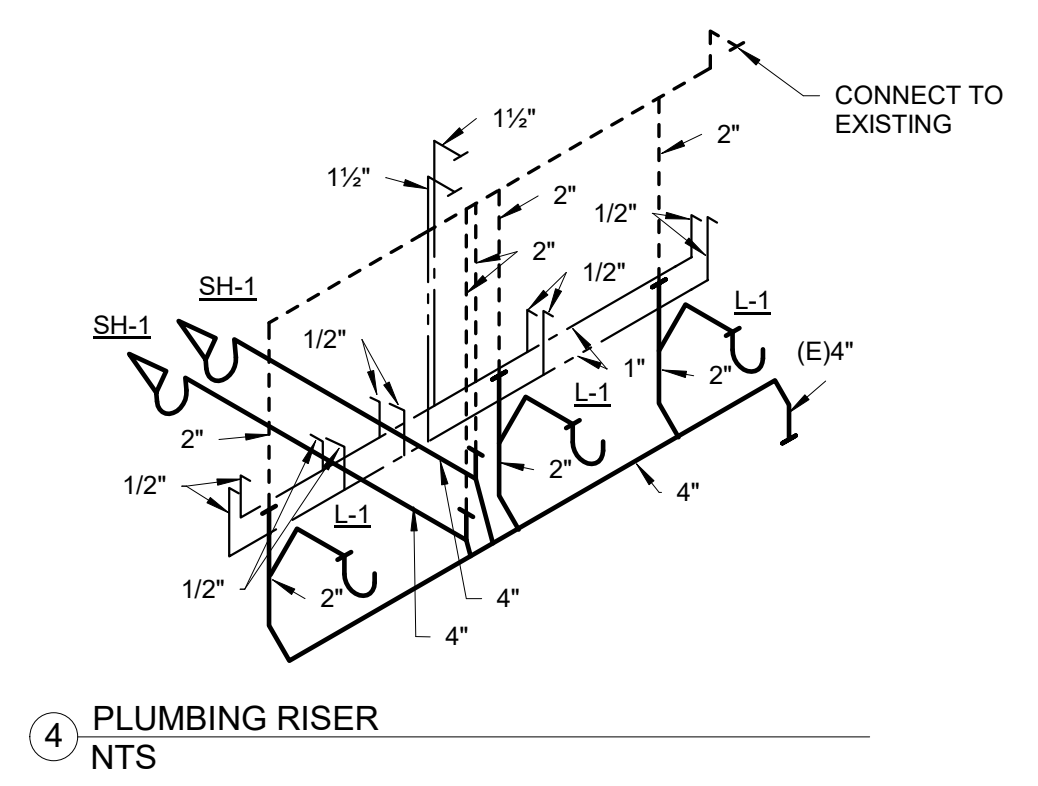
DATE: FEB. 22, 2023
REVISED: NUMBER
SHEET NUMBER

A2.4
OF SHEETS
KAI JOB NO. 2222-A

REVISIONS:
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FINISH PLAN
SCALE // 1/4" = 1'-0"

- PLUMBING GENERAL NOTES:**
- DRAWINGS ARE SCHEMATIC IN NATURE AND BASED ON PRELIMINARY SITE OBSERVATION AND ORIGINAL DESIGN DRAWINGS (WHEN AVAILABLE). PRIOR TO BID, CONTRACTOR SHALL INVESTIGATE THE PROJECT SITE AND BECOME FULLY AWARE OF ALL FIELD CONDITIONS, CURRENT SYSTEM OPERATION, AS WELL AS COORDINATION REQUIREMENTS. COORDINATE ALL PLUMBING WORK WITH ARCHITECTURAL DRAWINGS, EXISTING CONDITIONS, AND OTHER TRADES PRIOR TO BID OR START OF WORK.
 - PLUMBING WORK SHALL CONFORM TO APPLICABLE CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. REFER TO ARCHITECTURAL CODE PLANS FOR SPECIFIC CODE REFERENCES.
 - EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO ANY INSTALLATION OF CONNECTIONS THEREOF. ALL CONNECTIONS TO EXISTING UTILITIES (E.G. DOMESTIC WATER, SEWER, VENT, AND NATURAL GAS) SHALL BE MADE WITH APPROVAL OF THE ADMINISTRATIVE AUTHORITY AND THE RESPECTIVE UTILITY COMPANIES.
 - SANITARY WASTE AND VENT PIPING BELOW GRADE SHALL BE SCHEDULE 40 PVC WITH SOLVENT-WELDED JOINTS.
 - SANITARY WASTE AND VENT PIPING ABOVE GRADE SHALL BE NO-HUB CAST IRON IN RETURN AIR PLENUM APPLICATIONS. PVC OR ABS PIPING CAN BE USED IN AREAS OTHER THAN RETURN AIR PLENUMS AS ALLOWED BY CODE.
 - SLOPE SANITARY PIPING AS FOLLOWS: 1/4" PER FOOT FOR PIPE SIZES 2-1/2" AND SMALLER, AND 1/8" PER FOOT SLOPE FOR PIPE SIZES 3" AND LARGER.
 - COORDINATE CONDENSATE DRAIN REQUIREMENTS WITH THE HVAC CONTRACTOR AND OTHER TRADES.
 - CONDENSATE DRAIN PIPING SHALL BE TYPE M COPPER PIPING WITH WROUGHT FITTINGS AND SOLDERED JOINTS IN RETURN AIR PLENUM APPLICATIONS. PVC CAN BE USED IN AREAS OTHER THAN RETURN AIR PLENUMS AS ALLOWED BY CODE.
 - SLOPE CONDENSATE DRAIN PIPING AS FOLLOWS: 1/8" PER FOOT FOR ALL PIPE SIZES.
 - PROVIDE WATER SUPPLY SHUT-OFF VALVES ON EACH TOILET ROOM GROUP AND TO MISCELLANEOUS EQUIPMENT.
 - PROVIDE SIZE "A" WATER HAMMER ARRESTORS ON SUPPLY TO ALL PLUMBING FIXTURES.
 - PROVIDE STOP VALVES ON ALL INDIVIDUAL PLUMBING FIXTURE SUPPLIES.
 - COORDINATE SELECTION OF ALL PLUMBING FIXTURES WITH ARCHITECT AND OWNER. ALL HANDICAPPED FIXTURES (WHERE REQUIRED) SHALL COMPLY WITH A.D.A. REQUIREMENTS.
 - DOMESTIC WATER PIPING ABOVE GRADE SHALL BE TYPE L COPPER WITH WROUGHT FITTINGS AND SOLDERED JOINTS.
 - INSULATE NEW DOMESTIC COLD WATER, HOT WATER, HOT WATER RECIRCULATION, AND INTERIOR CONDENSATE DRAIN PIPING WITH MINIMUM 1" FIBERGLASS INSULATION (MINIMUM 1-4.0) WITH PAPER COVERING.
 - INSTALL ALL PLUMBING EQUIPMENT, FIXTURES, VALVES, ETC. PER MANUFACTURER'S INSTALLATION REQUIREMENTS. PROVIDE ADDITIONAL APPURTENANCES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
 - INSTALL CLEANOUTS AT EVERY END OF SANITARY PIPING RUNS, AT MINIMUM OF EVERY 100'-0" OF SANITARY PIPING, AND AT EVERY CHANGE IN DIRECTION GREATER THAN 45 DEG. REFER TO SECTION 708 OF THE INTERNATIONAL PLUMBING CODE FOR ADDITIONAL REQUIREMENTS.
 - PLUMBING CONTRACTOR SHALL INSPECT ALL PLUMBING EQUIPMENT TO REMAIN, REPORT ANY DEFICIENCIES TO OWNER PRIOR TO START OF WORK. CONTRACTOR SHALL LABEL ALL PIPING, VALVES AND EQUIPMENT WITH MANUFACTURER STANDARD LABELING SYSTEMS. COORDINATE WITH OWNER FOR FINAL EQUIPMENT DESIGNATIONS.
 - ALL ROOF PENETRATIONS SHALL BE PERFORMED BY THE LANDLORD'S ROOFING CONTRACTOR SO AS ROOF WARRANTY IS MAINTAINED.



LINETYPES LEGEND:

- NEW - ABOVE SLAB
- NEW - BELOW SLAB
- EXISTING - ABOVE SLAB
- EXISTING - BELOW SLAB
- DEMOLITION

ABBREVIATIONS LEGEND:

- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- BOP BOTTOM OF PIPE
- BT BATHTUB
- CFH CUBIC FEET PER HOUR
- CO CLEANOUT
- CW DOMESTIC COLD WATER
- DF DRINKING FOUNTAIN
- DN DOWN
- DSN DOWNSPOUT NOZZLE
- (E) EXISTING
- ET EXPANSION TANK
- EWC ELECTRIC WATER COOLER
- EWS EYE WASH STATION
- FCO FLOOR CLEANOUT
- FD FLOOR DRAIN
- FF FINISHED FLOOR
- FFA FROM FLOOR ABOVE
- FFB FROM FLOOR BELOW
- FS FLOOR SINK
- GI GREASE INTERCEPTOR
- GPM GALLONS PER MINUTE
- HB HOSE BIBB
- HP HORSEPOWER
- HWR HOT WATER RECIRCULATION
- IE INVERT ELEVATION
- IN.WG INCHES WATER GAUGE
- JS JANITOR SINK
- LI LINT INTERCEPTOR
- LS LAUNDRY SINK
- LV LAVATORY
- MAX MAXIMUM
- MB MOP BASIN
- MBH 1,000 BTUH
- MIN MINIMUM
- NG NATURAL GAS
- NHB NON-FREEZE HOSE BIBB
- NRH NON-FREEZE ROOF HYDRANT
- OD OVERFLOW ROOF DRAIN
- QTY QUANTITY
- RD ROOF DRAIN
- RP RECIRCULATION PUMP
- RPZ REDUCED PRESSURE ZONE BACKFLOW PREVENTER
- SW SANITARY WASTE
- SH SHOWER
- SK SINK
- SS SERVICE SINK
- SWP SEWAGE PUMP
- TD TRENCH DRAIN
- TFA TO FLOOR ABOVE
- TFB TO FLOOR BELOW
- TMV THERMOSTATIC MIXING VALVE
- TRA TO ROOF ABOVE
- TSP TOTAL STATIC PRESSURE
- UR URINAL
- V VENT
- WC WATER CLOSET
- WH WATER HEATER
- WCO WALL CLEANOUT
- WPD WATER PRESSURE DROP

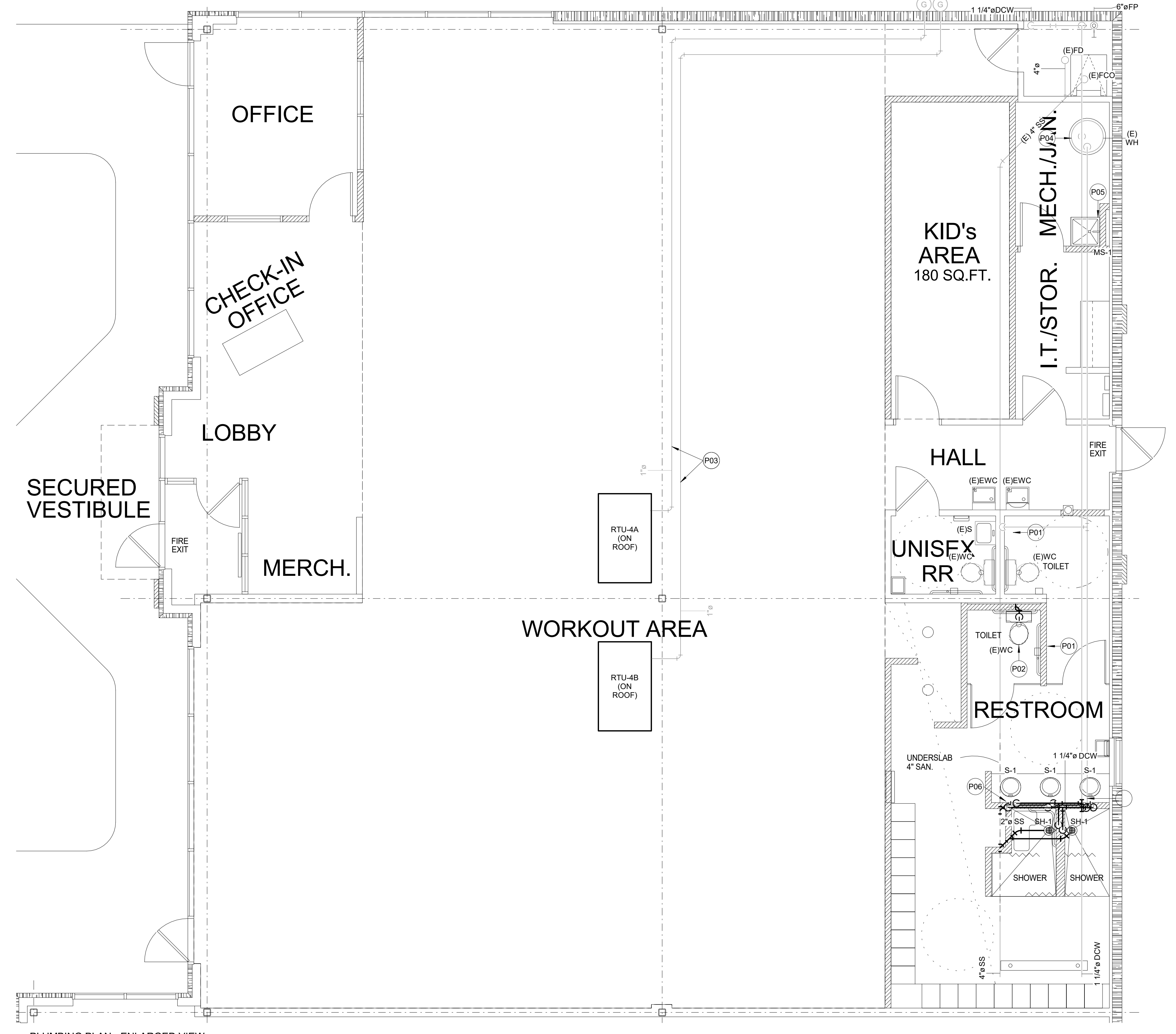
PIPING LEGEND:

- ELBOW DOWN
- ELBOW UP
- P-TRAP
- TEE DOWN
- ELBOW UP
- SHUT-OFF VALVE (GENERIC)
- BALL VALVE
- GLOBE VALVE
- BUTTERFLY VALVE
- GATE VALVE
- CHECK VALVE
- BALANCING VALVE
- PRESSURE REDUCING VALVE
- GAS COCK
- WYE-STRAINER
- UNION
- FLANGE
- RELIEF VALVE
- AIR VENT (MANUAL / AUTOMATIC)
- FLOW DIRECTION
- PIPE BREAK / CONTINUATION
- FLOOR DRAIN
- FLOOR SINK
- FLOOR CLEANOUT
- HOSE BIBB

ANNOTATION LEGEND:

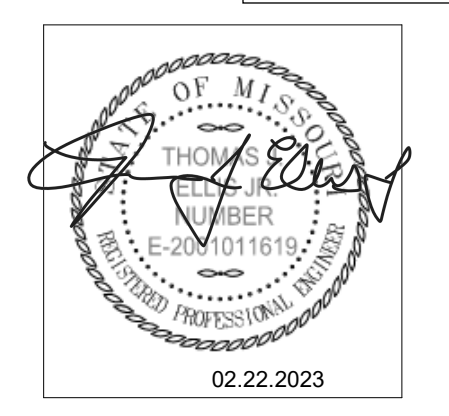
- EQUIPMENT / FIXTURE TAG
- PLAN NOTE
- CONNECT TO EXISTING

| PLUMBING FIXTURE SCHEDULE | | | | | | | |
|---------------------------|----------------------------|------------------|----|------|------|-------------------|--|
| TAG | FIXTURE | CONNECTION SIZES | | | | MANUFACTURER | DESCRIPTION |
| | | W | V | CW | HW | | |
| WC-1 | WATER CLOSET ADA COMPLIANT | 4" | 2" | 1" | - | AMERICAN STANDARD | FIXT. TYPE: FLOOR MOUNTED 1.28 GPF FLUSH TANK TWO PIECE ELONGATED BOWL, OR EQUAL. MODEL NO.: #3658 |
| LAV-1 | LAVATORY ADA COMPLIANT | 2" | 2" | 1/2" | 1/2" | KOHLER | FIXT. TYPE: DROP-IN WHITE MODEL NO.: #K-2196 FAUCET: KOHLER #K-27389 0.5 GPM CHROME THERMOSTATIC MIXING VALVE AT HOT WATER LINE, OR EQUAL. TRAP: MCGUIRE #8872CBECO DRAIN: MCGUIRE #155-A, SATIN CHROME GRID STRAINER |
| MS-1 | MOP SINK | 3" | 2" | 3/4" | 3/4" | FIAT | FIXT. TYPE: MOLDED STONE 24" x 24" FLOOR MOUNTED BASIN MODEL NO.: #MSBDTG2424 FAUCET: 830AA FAUCET INCLUDED WITH MOP SINK THERMOSTATIC MIXING VALVE AT HOT WATER LINE DRAIN: STAINLESS STEEL STRAINER INCLUDED WITH MOP SINK ACCESSORIES: 832AA HOSE AND BRACKET 889CC MOP HANGER BRACKET INCLUDED WITH MOP SINK |
| SH-1 | SHOWER ADA COMPLIANT | 4" | 2" | - | - | KOHLER | FIXT. TYPE: ADA SHOWER KIT WITH HEAD, SLIDEBAR, AND VALVE DRAIN: SQUARE SHOWER DRAIN #22665. ACCESSORIES: TRAP GUARD DEVICE, VANDAL RESISTANT SCREWS AND STAINLESS STEEL STRAINER HEAD MODEL NO.: #K-22179-G |
| EWC-1 | ELECTRIC WATER COOLER | 1 1/2" | 1" | 3/8" | - | ELKAY | FIXT. TYPE: DUAL LEVEL DRINKING FOUNTAIN WITH ACTIVATED BOTTLE FILLING STATION, OR EQUAL MODEL NO.: #EMABFTL8WSSK |



2 PLUMBING PLAN - ENLARGED VIEW
1/4" = 1'-0"

| Key Value | Keynote Text |
|-----------|--|
| P01 | DEMO EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING BACK TO THE TAPS. REFER TO ARCH. |
| P02 | RELOCATED WATER CLOSET. MODIFY EXISTING PIPING TO RECONNECT TO NEW LOCATION. |
| P03 | RECONNECT RTU TO NATURAL GAS PIPING ON ROOF. CONTRACTOR TO CONFIRM EXISTING CONDITIONS, AND TO REPORT ANY DISCREPENCIES. |
| P04 | WATER HEATER EXISTING TO REMAIN. CONTRACTOR TO CONFIRM CONDITION, AND REPLACE WITH EQUAL IS DEEMED UNUSABLE. |
| P05 | REPLACE MOP SINK WITH NEW. RECONNECT ALL EXISTING PIPES. CONTRACTOR TO MODIFY IN FIELD IF NECESSARY. |
| P06 | CONNECT ALL NEW FIXTURES TO EXISTING VENT THRU ROOF. REFER TO SCHEDULE FOR SIZING. |



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ISSUE DATE: 02.22.2023
SHEET NUMBER:
P01-01
JOB NO. 220085.01

MECHANICAL GENERAL NOTES:

- DRAWINGS ARE SCHEMATIC IN NATURE AND BASED ON PRELIMINARY SITE OBSERVATION AND ORIGINAL DESIGN DRAWINGS (WHEN AVAILABLE). PRIOR TO BID, CONTRACTOR SHALL INVESTIGATE THE PROJECT SITE AND BECOME FULLY AWARE OF ALL FIELD CONDITIONS, CURRENT SYSTEM OPERATION, AS WELL AS COORDINATION REQUIREMENTS. COORDINATE ALL MECHANICAL WORK WITH ARCHITECTURAL DRAWINGS, EXISTING CONDITIONS, AND OTHER TRADES PRIOR TO BID OR START OF WORK.
- MECHANICAL WORK SHALL CONFORM TO APPLICABLE CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. REFER TO ARCHITECTURAL CODE PLANS FOR SPECIFIC CODE REFERENCES.
- COORDINATE MECHANICAL WORK WITH ALL OTHER PROJECT TRADES (E.G. ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, ETC.).
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR REQUIRED ELECTRICAL POWER WIRING. PROVIDE ALL CONTROL WIRING AND FINAL CONTROL DEVICE (E.G. THERMOSTATS).
- FABRICATE AND INSTALL DUCTWORK PER SMACNA RECOMMENDATIONS FOR THE PRESSURE CLASSIFICATIONS ENCOUNTERED.
 - MEDIUM PRESSURE SUPPLY AIR (UPSTREAM OF VAV TERMINAL UNITS): +6.0 IN.WG.
 - LOW PRESSURE SUPPLY AIR (DOWNSTREAM OF VAV TERMINAL UNITS): +2.0 IN.WG.
 - RETURN AIR: -1.0 IN.WG.
 - EXHAUST AIR (UPSTEAM OF FAN): -2.0 IN.WG.
 - EXHAUST AIR (DOWNSTREAM OF FAN): +1.0 IN.WG.
- PROVIDE DUCT WRAP INSULATION FOR ALL ROUND AND RECTANGULAR SUPPLY AIR DUCTWORK. DUCT WRAP INSULATION SHALL BE 2" THICK, MINIMUM R-5.0 FIBERGLASS DUCT WRAP WITH VAPOR BARRIER.
- CONTRACTOR OPTION: PROVIDE INTERNAL LINER INSULATION FOR ALL RECTANGULAR SUPPLY AIR DUCTWORK. INTERNAL LINER INSULATION SHALL BE 1" THICK, 2 LB/FT³ ACOUSTICAL DUCT LINER INSULATION WITH MINIMUM R-5.0.
- PROVIDE INTERNAL LINER INSULATION FOR ALL RECTANGULAR RETURN AIR DUCTWORK. INTERNAL LINER INSULATION SHALL BE 1" THICK, 2 LB/FT³ ACOUSTICAL DUCT LINER INSULATION.
- DUCT DIMENSIONS SHOWN ON THE PLANS INDICATE THE FREE AREA DIMENSIONS. INCREASE SHEET METAL DIMENSIONS AS REQUIRED TO MEET FREE AREA DIMENSIONS WITH LINER INSTALLED.
- FLEXIBLE DUCTWORK SHALL HAVE 2" THICK, MINIMUM R-5.0 INSULATION. FLEXIBLE DUCTWORK SHALL NOT EXCEED 5'-0" IN LENGTH FOR SUPPLY AIR APPLICATIONS AND 3'-0" IN LENGTH FOR RETURN AIR AND EXHAUST AIR APPLICATIONS.
- PROVIDE BALANCING DAMPERS IN DUCT TAKE-OFFS TO AIR DEVICES IN GYP BOARD CEILINGS, IN THE NECKS OF AIR DEVICES IN LAY-IN CEILINGS, AND IN THE NECKS OF SIDE WALL AIR DEVICES FOR PROPER AIR BALANCING.
- TOILET ROOM EXHAUST FANS SHALL BE AS SCHEDULED. PROVIDE A MINIMUM OF 75 CFM EXHAUST PER FLUSH FIXTURE.
- COORDINATE ALL REQUIRED ROOF PENETRATIONS WITH ROOFING CONTRACTOR TO AVOID ROOF WARRANTY CONFLICTS.
- VERIFY AVAILABLE SPACE ABOVE ALL CEILINGS PRIOR TO FABRICATION OR INSTALLATION OF ANY DUCTWORK. COORDINATE DUCT INSTALLATION WITH OTHER TRADES.
- ALL DIMENSIONS SHOWN IN PLAN ARE IN INCHES, UNLESS EXPLICITLY LABELED OTHERWISE.
- PROVIDE ACCESS PANELS AND ADEQUATE CLEARANCE FOR ACCESS OF ALL EQUIPMENT, VALVES, DAMPERS, AND DEVICES.
- MECHANICAL CONTRACTOR SHALL INSPECT ALL MECHANICAL EQUIPMENT TO REMAIN. REPORT ANY DEFICIENCIES TO OWNER PRIOR TO START OF WORK.

ABBREVIATIONS LEGEND:

- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AHU AIR HANDLING UNIT
- AI ANALOG INPUT
- AO ANALOG OUTPUT
- APD AIR PRESSURE DROP
- ATU AIR TERMINAL UNIT
- AV ANALOG VIRTUAL
- BAS BUILDING AUTOMATION SYSTEM
- BI BINARY INPUT
- BO BINARY OUTPUT
- BOD BOTTOM OF DUCT
- BOP BOTTOM OF PIPE
- CAV CONSTANT AIR VOLUME
- CFM CUBIC FEET PER MINUTE
- CFH CUBIC FEET PER HOUR
- CHWR CHILLED WATER RETURN
- CHWS CHILLED WATER SUPPLY
- CU CONDENSING UNIT
- CWR CONDENSER WATER RETURN
- CWS CONDENSER WATER SUPPLY
- DDC DIRECT DIGITAL CONTROL
- DN DOWN
- DN EXISTING
- E ELECTRONIC
- E/A EXHAUST AIR
- EAT ENTERING AIR TEMPERATURE
- EF EXHAUST FAN
- EG EXHAUST GRILLE
- ESP EXTERNAL STATIC PRESSURE
- EWIT ENTERING WATER TEMPERATURE
- FACP FIRE ALARM CONTROL PANEL
- FC FAIL CLOSED
- FCU FAN COIL UNIT
- FFA FROM FLOOR ABOVE
- FFB FROM FLOOR BELOW
- FIP FAIL IN PLACE
- FO FAIL OPEN
- FPI FINS PER INCH
- FPM FEET PER MINUTE
- FT.WG FEET WATER GAUGE
- GPM GALLONS PER MINUTE
- HC HEATING CAPACITY
- HP HORSEPOWER
- HPC HIGH PRESSURE CONDENSATE (>30 PSI)
- HPS HIGH PRESSURE STEAM (>30 PSIG)
- HUM HUMIDIFIER
- HWR HEATING WATER RETURN
- HWS HEATING WATER SUPPLY
- IFB INTEGRAL FACE AND BYPASS
- IN.WG INCHES WATER GAUGE
- LAT LEAVING AIR TEMPERATURE
- LPC LOW PRESSURE CONDENSATE (<15 PSK)
- LPS LOW PRESSURE STEAM (<15 PSIG)
- LWT LEAVING WATER TEMPERATURE
- MAX MAXIMUM
- MBH 1,000 BTUH
- MIN MINIMUM
- MPC MEDIUM PRESSURE CONDENSATE (15<M)
- MPS MEDIUM PRESSURE STEAM (15<MPS<30)
- NC NOISE CRITERIA
- O/A OUTDOOR AIR
- P PNEUMATIC
- P PRESSURE
- PSC PUMPED STEAM CONDENSATE
- QTY QUANTITY
- R/A RETURN AIR
- RE/A RELIEF AIR
- REFR REFRIGERANT
- RF RETURN FAN
- RG RETURN GRILLE
- RH REHEAT
- RTU ROOFTOP UNIT
- S/A SUPPLY AIR
- SC SENSIBLE COOLING CAPACITY
- SD SUPPLY DIFFUSER
- STM STEAM
- TC TOTAL COOLING CAPACITY
- TFA TO FLOOR ABOVE
- TFB TO FLOOR BELOW
- TRA TO ROOF ABOVE
- TSP TOTAL STATIC PRESSURE
- VAV VARIABLE AIR VOLUME
- VEL VELOCITY
- VFD VARIABLE FREQUENCY DRIVE
- WPD WATER PRESSURE DROP

LINETYPES LEGEND:

- NEW — ON ROOF
- EXISTING
- EXISTING — ON ROOF
- DEMOLITION

DUCTWORK LEGEND:

- DUCT (SINGLE LINE)
- DUCT (DOUBLE LINE)
- ⊗ ROUND O/A OR S/A DOWN
- ⊙ ROUND O/A OR S/A UP
- ⊗ ROUND E/A OR R/A DOWN
- ⊙ ROUND E/A OR R/A UP
- ⊗ RECTANGULAR O/A OR S/A DOWN
- ⊙ RECTANGULAR O/A OR S/A UP
- ⊗ RECTANGULAR E/A OR R/A DOWN
- ⊙ RECTANGULAR E/A OR R/A UP
- ⊗ O/A OR S/A DIFFUSER
- ⊙ E/A OR R/A GRILLE

ANNOTATION LEGEND:

- ABC-1 EQUIPMENT / FIXTURE TAG
- ⊖ PLAN NOTE
- AIR FLOW DIRECTION
- S-1 G/R/D TAG
- 8" NECK SIZE
- 300 AIR FLOW (CFM)

GRILLES, REGISTERS, AND DIFFUSERS SCHEDULE

| TAG | MAX.NC | DESCRIPTION | NOTES |
|-----|--------|--|---------|
| S-1 | 30 | 24"x24" FACE CEILING GRID MOUNTED DIFFUSER, PRICE-SCD OR SIMILAR | 1,2,5,6 |
| S-2 | 30 | 12"x6" FACE DUCT MOUNTED DIFFUSER, TITUS-US300FL OR SIMILAR | 1,2,5,6 |
| R-1 | 30 | 24"x24" FACE CEILING GRID MOUNTED RETURN GRILLE, PRICE-PDDR OR SIMILAR | 2,5 |
| E-1 | 30 | 12"x12" FACE CEILING GRID MOUNTED DUCTED EXHAUST GRILLE, PRICE PDDR OR SIMILAR | 2,5,6 |

- NOTES:**
- 4-WAY THROW UNLESS NOTED OTHERWISE.
 - BAKED ENAMEL FINISH, TO MATCH CEILING COLOR.
 - FRONT BLADES TO BE PARALLEL TO HORIZONTAL DIMENSION.
 - PROVIDE DOUBLE DEFLECTION BARS THAT ARE ADJUSTABLE.
 - FRAME TYPE TO MATCH CEILING/WALL CONSTRUCTION. COORDINATE WITH ARCHITECTURAL.
 - NECK SIZE SHOWN ON PLAN.

RTU-4A

| Room Name | Room Area (sq.ft) | # of People (ASHRAE) | Area Designation | CFM/person | CFM/sq.ft | Min. OA CFM | Design OA CFM |
|--------------|-------------------|----------------------|-----------------------------------|------------|-----------|-------------|---------------|
| FRONT WO | 1400 | 42 | SPORTS - Gym, stadium (play area) | 0 | 0.3 | 525.00 | 530 |
| OFFICE | 275 | 14 | OFFICE - Office Space | 5 | 0.06 | 20.63 | 25 |
| LOBBY | 140 | 1 | OFFICE - Main entry lobbies | 5 | 0.06 | 10.50 | 15 |
| TOTAL | | | | | | 570 | |

RTU-4B

| Room Name | Room Area (sq.ft) | # of People (ASHRAE) | Area Designation | CFM/person | CFM/sq.ft | Min. OA CFM | Design OA CFM |
|--------------|-------------------|----------------------|------------------------------------|------------|-----------|-------------|---------------|
| BACK WO | 1400 | 42 | SPORTS - Gym, stadium (play area) | 0 | 0.3 | 525.00 | 530 |
| KIDS AREA | 180 | 5 | EDUCATIONAL - Daycare (thru age 4) | 10 | 0.18 | 40.50 | 45 |
| CORRIDOR | 88 | 0 | OFFICE - Office Space | 5 | 0.06 | 6.60 | 10 |
| IT/STORAGE | 75 | 0 | GENERAL - Storage rooms | 0 | 0.12 | 11.25 | 15 |
| TOTAL | | | | | | 600 | |

ROOF TOP UNIT SCHEDULE

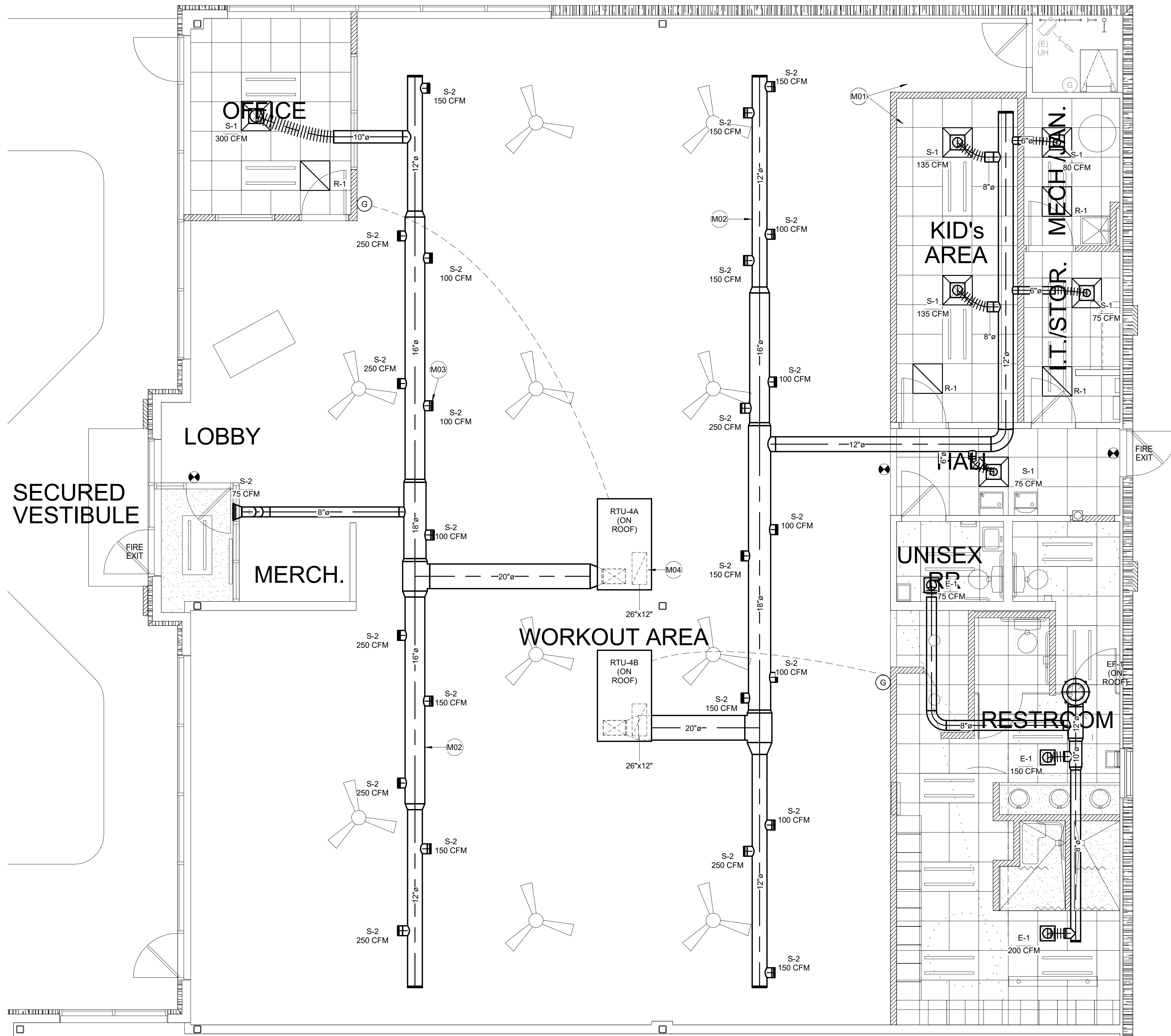
| TAG | NOMINAL TONS | CFM | OA CFM | ESP (IN) | V/PH/Hz | KW | MANU. / MODEL | NOTES |
|--------|--------------|------|--------|----------|----------|-----|--------------------|-------|
| RTU-4A | 6 | 2400 | 570 | 0.5 | 208/3/60 | 6.4 | CARRIER / 48FCDM07 | ALL |
| RTU-4B | 6 | 2400 | 600 | 0.5 | 208/3/60 | 6.4 | CARRIER / 48FCDM07 | ALL |

- NOTES:**
- BALANCE AIRFLOWS AS INDICATED ON PLAN.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCH.
 - PROVIDE HINGED ACCESS DOORS AND ROOF CURB.

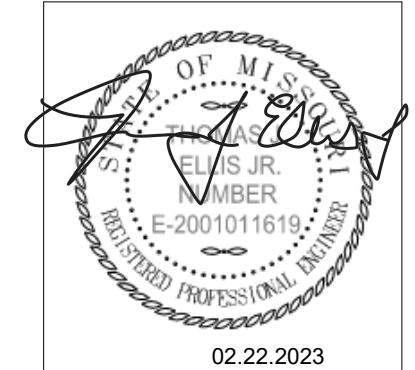
EXHAUST FAN SCHEDULE

| TAG | MOUNTING | CFM | ESP (IN) | V/PH/Hz | HP | MANU. / MODEL | NOTES |
|------|----------|-----|----------|----------|------|----------------|-------|
| EF-1 | ROOF | 425 | 0.25 | 120/1/60 | 1/20 | GREENHECK / G- | ALL |

- NOTES:**
- PROVIDE MANUFACTURER'S RECOMMENDED ROOF CURB.
 - PROVIDE WITH BACKDRAFT DAMPER.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCH.
 - CONTROL FAN WITH TIMECLOCK TO RUN DURING BUSINESS HOURS.



| Key Value | Keynote Text |
|-----------|--|
| M01 | DEMO EXISTING KITCHEN EQUIPMENT AND ALL ASSOCIATED HVAC IN THIS AREA. |
| M02 | NEW DUCTWORK TO BE INSTALLED TIGHT TO STRUCTURE. EXPOSED DUCTWORK TO BE PAINTED, SEE ARCH. (TYP.) |
| M03 | NEW DUCT TAP WITH SIDE MOUNT DUCT DIFFUSER WITH VOLUME DAMPER. ADJUST AIRFLOW AS INDICATED AND DIRECT AIRFLOW AT A DOWNWARD ANGLE (TYP.) |
| M04 | PROVIDE RETURN AIR OPENING WITH GRILLE JUST BELOW DECK. MATCH SIZE INDICATED ON PLANS (TYP.) |



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ISSUE DATE: 02.22.2023
SHEET NUMBER:
M01-01
JOB NO. 220085.01

2 MECHANICAL PLAN - ENLARGED VIEW
1/4" = 1'-0"



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DATE FEB. 22, 2023
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E01-01
OF SHEETS
KAI JOB NO. 2222-A

ELECTRICAL GENERAL NOTES:

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- ELECTRICAL WORK SHALL CONFORM TO APPLICABLE CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. REFER TO ARCHITECTURAL CODE PLANS FOR SPECIFIC CODE REFERENCES.
- COORDINATE ELECTRICAL WORK WITH ALL OTHER PROJECT TRADES (E.G. ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, ETC.).
- COORDINATE EXACT LOCATIONS OF ALL LIGHT FIXTURES AND ELECTRICAL DEVICES WITH ARCHITECTURAL DRAWING AND OTHER TRADES PRIOR TO ROUGH-IN. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRE TO PROPERLY INSTALL ALL SYSTEMS.
- INSTALL PULL STRING IN ALL EMPTY CONDUIT/RACEWAY. TERMINATE CONDUIT STUB-UP WITH A NYLON BUSHING.
- COLOR FOR RECEPTACLES, SWITCHES, NETWORK DEVICES AND COVER PLATES SHALL MATCH. COLOR SHALL MATCH AND BE SELECTED AS BRIGHT WHITE UNLESS NOTED OTHERWISE. CONFIRM EXACT COLOR WITH ARCHITECT PRIOR TO ORDER.
- ELECTRICAL CONTRACTOR SHALL INSPECT ALL ELECTRICAL EQUIPMENT TO REMAIN. REPORT ANY DEFICIENCIES TO OWNER PRIOR TO START OF WORK.
- CLEAN LIGHT FIXTURES AND REPLACE LAMPS AS NECESSARY.
- ALL WIRING SHALL BE INSTALLED IN METAL CLAD (MC) CABLE OR EMT CONDUIT TO MEET CODE AS REQUIRED BY THE CURRENT RECOGNIZED EDITION OF THE NATIONAL ELECTRIC CODE (NEC). ALL INSTALLATIONS SHALL BE PER NEC REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL ROUGH-IN LOCATIONS AND QUANTITIES FOR GENERAL USE POWER AND DATA WITH OWNER AND/OR ARCHITECT PRIOR TO INSTALLATION.
- CIRCUITS FOR GENERAL USE POWER SHALL HAVE A MAXIMUM OF 8 RECEPTACLES ON A CIRCUIT (A SINGLE 4-PLEX RECEPTACLE COUNTS FOR 2 OF THE ALLOWED 8 RECEPTACLES).
- ALL WIRE SIZES LISTED ON PLANS ASSUME COPPER CONDUCTORS ARE USED (UNLESS NOTED OTHERWISE).
- THE BUILDING DOES NOT HAVE A FIRE ALARM SYSTEM.
- ALL 'EM' AND EXIT LIGHTING SHALL BE CONNECTED TO UN-SWITCHED LIGHTING CIRCUIT SERVING AREA COVER BY EMERGENCY FIXTURE. ALL EMERGENCY LIGHTING IN EXISTING SPACE SHALL REMAIN.

ELECTRICAL LIGHTING PLAN NOTES:

- CEILING FAN SPEED CONTROL SWITCH, 120V. CONFIRM SWITCH IS COMPATIBLE WITH INSTALLED FANS AND HAS SUFFICIENT CAPACITY TO CONTROL ALL FANS.
- NEW 2-POLE TIME CLOCK 24 HOUR ASTRONOMICAL TIME CLOCK FOR SIGNAGE.
- WATTSTOPPER #DSW-301 BOX MOUNT LINE VOLTAGE OCCUPANCY SENSOR SWITCH. UNITS MAY BE WIRED TO OPERATE IN MULTI-LOCATION CONFIGURATION.
- (3) WATTSTOPPER #DT-355 LINE VOLTAGE CEILING MOUNTED OCCUPANCY SENSORS WIRED IN PARALLEL. REFER TO WATTSTOPPER WIRING DIAGRAM FOR WIRING CONFIGURATION.
- CONTRACTOR SHALL INSTALL OWNER PROVIDED CEILING FANS. MOUNT AT HEIGHT AND LOCATION DESIGNATED BY OWNER.

LIGHTING FIXTURE SCHEDULE:

- 8" LENSED 'LED' STRIP FIXTURE MOUNTED HIGH AT STRUCTURE. COORDINATE FIXTURE LOCATIONS WITH DUCTWORK. COOPER #85T2L4040R OR EQUAL.
 - 2'x4' 'LED' PANEL GRID MOUNTED FIXTURE. COOPER #RT24SL, WITH SELECTABLE COLOR AND LUMEN OUTPUT. COLOR SHALL BE 3500 AND LUMEN SET AT 4500.
 - 6" APERTURE RECESSED CAN WITH COLOR SELECTABLE LED TRIM. HALO #LT6-DM OR EQUAL.
- EM. TWIN HEAD EMERGENCY FIXTURE, SURELITES #APEL.
X1EM COMBO EXIT/EM LIGHT, SURELITES #APCH7R.
- ALL 'LED' COLORS SHALL BE 4000K (CONFIRM WITH ARCHITECT/OWNER).

ABBREVIATIONS LEGEND:

- AFF ABOVE FINISHED FLOOR
- ED EXISTING TO BE DEMOLISHED
- EM EMERGENCY
- ER EXISTING TO BE RELOCATED
- ETR EXISTING TO REMAIN
- GFCI GROUND FAULT CURRENT INTERRUPTER
- NL NIGHT LIGHT
- TR TAMPER RESISTANT
- UNO UNLESS NOTED OTHERWISE
- WP WEATHER PROTECTED COVER / GFCI

LINETYPES LEGEND:

- NEW
- EXISTING OR BY OTHERS
- DEMOLITION

LIGHTING LEGEND:

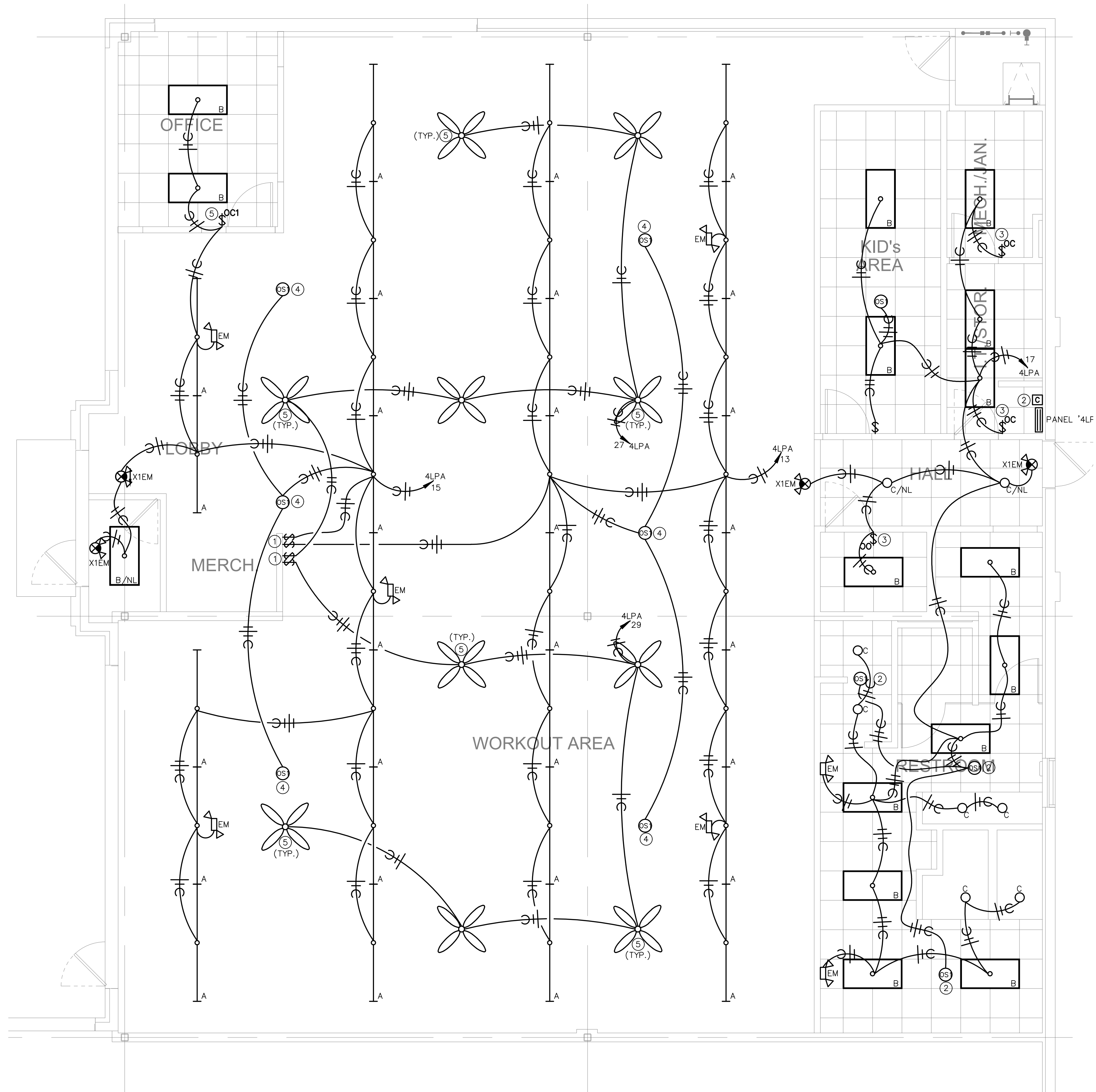
- • CEILING MOUNTED LIGHT FIXTURE, 2'x2' OR 2'x4'
 - • CEILING MOUNTED LIGHT FIXTURE, 2'x2' OR 2'x4' (NIGHT LIGHT OR EMERGENCY CIRCUIT)
 - STRIP LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR LENGTH.
 - WALL-MOUNT SCONCE OR WALL BRACKET LIGHT FIXTURE.
 - RECESSED WALL WASH CAN LIGHT FIXTURE.
 - RECESSED, SURFACE, OR STEM HUNG LIGHT FIXTURE.
 - SINGLE FACE EXIT LIGHT FIXTURE, WALL OR CEILING MOUNT, WITH FIELD CONFIGURABLE ARROWS. PROVIDE DIRECTIONAL ARROWS AS INDICATED ON DRAWINGS. SHADED AREA INDICATES EXIT LIGHT FACE.
 - DOUBLE FACE EXIT LIGHT FIXTURE, WALL OR CEILING MOUNT, WITH FIELD CONFIGURABLE ARROWS. PROVIDE DIRECTIONAL ARROWS AS INDICATED ON DRAWINGS. SHADED AREA INDICATES EXIT LIGHT FACE.
 - COMBINATION SINGLE FACE EXIT/EMERGENCY LIGHT FIXTURE, WALL OR CEILING MOUNT, WITH FIELD CONFIGURABLE ARROWS. PROVIDE DIRECTIONAL ARROWS AS INDICATED ON DRAWINGS. SHADED AREA INDICATES EXIT LIGHT FACE.
- NOTE: REFER TO LIGHT FIXTURE SCHEDULE AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND MOUNTING HEIGHTS.

POWER LEGEND:

- INDICATES ABOVE COUNTER (TYP)
 - DUPLEX RECEPTACLE MOUNTED AT +18" AFF TO CENTER OF RECEPTACLE (UNO). ABOVE COUNTER RECEPTACLES SHALL BE +48" AFF (UNO).
 - DUPLEX ISOLATED GROUND RECEPTACLE MOUNTED AT +18" AFF TO CENTER OF RECEPTACLE (UNO). ABOVE COUNTER RECEPTACLES SHALL BE +48" AFF (UNO).
 - DUPLEX RECEPTACLE ON STAND-BY GENERATOR POWER, MOUNTED AT +18" AFF TO CENTER OF RECEPTACLE (UNO). RECEPTACLES SHOWN ABOVE COUNTER SHALL BE +48" AFF (UNO).
 - FLOOR-MOUNTED DUPLEX OR FOURPLEX RECEPTACLE MOUNTED IN PVC FLOORBOX, OR POKE-THRU
 - SPECIAL RECEPTACLE, NUMBER REFERS TO "NEMA" CONFIGURATION. MOUNT AT +18" AFF TO CENTER OF RECEPTACLE (UNO).
 - FOURPLEX RECEPTACLE MOUNTED AT +18" AFF TO CENTER OF RECEPTACLE (UNO). RECEPTACLES SHOWN TO BE ABOVE COUNTER SHALL BE +48" AFF (UNO)
 - FLUSH MOUNT COMBINATION POWER AND VOICE/DATA FLOORBOX.
 - SINGLE POLE WALL MOUNT TOGGLE SWITCH. MOUNT AT +48" AFF TO CENTER OF SWITCH.
 - WALL MOUNTED OCCUPANCY SENSOR SWITCH. MOUNT AT +48" AFF TO CENTER OF SWITCH.
 - WALL MOUNTED OCCUPANCY SENSOR SWITCH WITH 0-10V DIMMING CONTROL. MOUNT AT +48" AFF TO CENTER OF SWITCH.
 - WALL MOUNTED LOW VOLTAGE SWITCH WITH 0-10V DIMMING CONTROL. MOUNT AT +48" AFF TO CENTER OF SWITCH.
 - CEILING MOUNTED OCCUPANCY SENSOR.
 - ROOM CONTROLLER/POWER PACK FOR LIGHT FIXTURE CONTROL. DEVICE SHALL BE CONCEALED IN CEILING.
 - VOICE OPENING. PROVIDE RING WITH STRING TO ABOVE CEILING. DEVICES SHOWN TO BE COUNTER SHALL BE +48" AFF (UNO).
 - DATA OPENING. PROVIDE RING WITH STRING TO ABOVE CEILING. DEVICES SHOWN TO BE COUNTER SHALL BE +48" AFF (UNO).
 - COMBINATION VOICE/DATA OPENING. PROVIDE RING WITH STRING TO ABOVE CEILING. DEVICES SHOWN TO BE COUNTER SHALL BE +48" AFF (UNO).
 - FLUSH FLOOR MOUNT VOICE/DATA OUTLET MOUNTED IN PVC FLOORBOX.
 - DISCONNECT SWITCH, STARTER, & COMBINATION STARTER/DISCONNECT SWITCH. SIZE AS INDICATED ON DRAWINGS.
 - ELECTRICAL PANEL BOARD, FLUSH OR SURFACE MOUNT
 - JUNCTION BOX
- NOTE: LINE THROUGH DEVICE INDICATES TO BE MOUNTED ABOVE COUNTERTOP OR CABINET. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS IF NOT INDICATED ON POWER PLAN.
- REFER TO LIGHTING CONTROL DEVICE SCHEDULE AND ARCHITECTURAL DRAWINGS FOR FURTHER INFORMATION.

WIRING LEGEND:

- HOMERUN TO PANELBOARD WITH NUMBER AND SIZE OF CONDUCTORS INDICATED ON PLANS.
- GROUNDED CONDUCTOR.
- CONDUIT OR CIRCUIT BREAK/CONTINUATION.
- CONDUIT WITH ENDCAP FOR FUTURE USE.
- GROUNDING SOURCE.



Floor Plan - Lighting
SCALE: 1/4" = 1'-0"

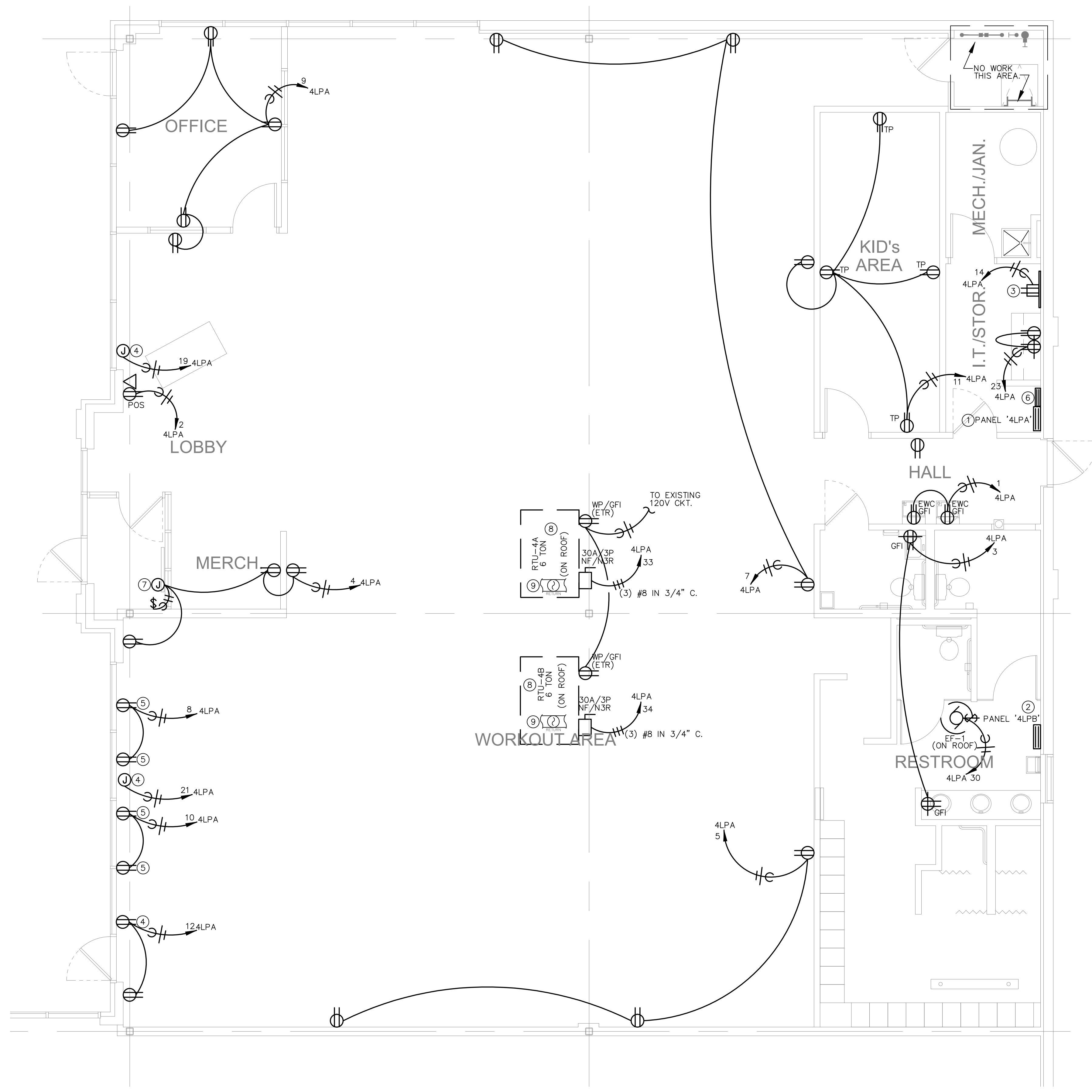
ELECTRICAL GENERAL NOTES:

- DRAWINGS ARE SCHEMATIC IN NATURE AND BASED ON PRELIMINARY SITE OBSERVATION AND ORIGINAL DESIGN DRAWINGS (WHEN AVAILABLE). PRIOR TO BID, CONTRACTOR SHALL INVESTIGATE THE PROJECT SITE AND BECOME FULLY AWARE OF ALL FIELD CONDITIONS, CURRENT SYSTEM OPERATION AS WELL AS COORDINATION REQUIREMENTS. COORDINATE ALL MECHANICAL WORK WITH ARCHITECTURAL DRAWINGS, EXISTING CONDITIONS AND OTHER TRADES PRIOR TO BID OR START OF WORK.
- ELECTRICAL WORK SHALL CONFORM TO APPLICABLE CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. REFER TO ARCHITECTURAL CODE PLANS FOR SPECIFIC CODE REFERENCES.
- COORDINATE ELECTRICAL WORK WITH ALL OTHER PROJECT TRADES (E.G. ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, ETC.).
- COORDINATE EXACT LOCATIONS OF ALL LIGHT FIXTURES AND ELECTRICAL DEVICES WITH ARCHITECTURAL DRAWING AND OTHER TRADES PRIOR TO ROUGH-IN. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRE TO PROPERLY INSTALL ALL SYSTEMS.
- INSTALL PULL STRING IN ALL EMPTY CONDUIT/RACEWAY. TERMINATE CONDUIT STUB-UP WITH A NYLON BUSHING.
- COLOR FOR RECEPTACLES, SWITCHES, NETWORK DEVICES AND COVER PLATES SHALL MATCH. COLOR SHALL MATCH AND BE SELECTED AS BRIGHT WHITE UNLESS NOTED OTHERWISE. CONFIRM EXACT COLOR WITH ARCHITECT PRIOR TO ORDER.
- ELECTRICAL CONTRACTOR SHALL INSPECT ALL ELECTRICAL EQUIPMENT TO REMAIN. REPORT ANY DEFICIENCIES TO OWNER PRIOR TO START OF WORK.
- CLEAN LIGHT FIXTURES AND REPLACE LAMPS AS NECESSARY.
- ALL WIRING SHALL BE INSTALLED IN METAL CLAD (MC) CABLE OR EMT CONDUIT TO MEET CODE AS REQUIRED BY THE CURRENT RECOGNIZED EDITION OF THE NATIONAL ELECTRIC CODE (NEC). ALL INSTALLATIONS SHALL BE PER NEC REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL ROUGH-IN LOCATIONS AND QUANTITIES FOR GENERAL USE POWER AND DATA WITH OWNER AND/OR ARCHITECT PRIOR TO INSTALLATION.
- CIRCUITS FOR GENERAL USE POWER SHALL HAVE A MAXIMUM OF 8 RECEPTACLES ON A CIRCUIT (A SINGLE 4-PLEX RECEPTACLE COUNTS FOR 2 OF THE ALLOWED 8 RECEPTACLES).
- ALL WIRE SIZES LISTED ON PLANS ASSUME COPPER CONDUCTORS ARE USED (UNLESS NOTED OTHERWISE).
- THE BUILDING DOES NOT HAVE A FIRE ALARM SYSTEM.
- ALL "EM" AND EXIT LIGHTING SHALL BE CONNECTED TO UN-SWITCHED LIGHTING CIRCUIT SERVING AREA COVER BY EMERGENCY FIXTURE. ALL EMERGENCY LIGHTING IN EXISTING SPACE SHALL REMAIN.
- REFER TO ARCHITECTURAL DEMOLITION PLAN FOR EXTENT OF ELECTRICAL DEMOLITION. COORDINATE ELECTRICAL DEMOLITION WITH DEMOLITION CONTRACTOR.

ELECTRICAL POWER PLAN NOTES:

- EXISTING TENANT SPACE 200A 120/208V BRANCH PANEL TO REMAIN. REFER TO PANEL SCHEDULES FOR MORE INFORMATION. PROVIDE UPDATED PANEL SCHEDULE UPON COMPLETION. PROVIDE NEW OR ADDITIONAL BREAKERS TO PANEL AS NECESSARY.
- EXISTING TENANT SPACE PANEL TO BE DE-ENERGIZED AND DEMOLISHED. REMOVE CONDUIT TO ABOVE CEILING AND REMOVE CONDUCTORS BACK TO METER. RE-ROUTE ANY CIRCUITS TO REMAIN TO PANEL '4LPA'.
- FOURPLEX RECEPTACLE AND OWNER PROVIDED IT RACK. CONFIRM EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.
- JUNCTION BOX FOR EXISTING SIGN CIRCUITS SHALL REMAIN.
- MOUNT RECEPTACLES ALONG STORE-FRONT BASE ALONG FLOOR LINE. COORDINATE FINAL RECEPTACLE LOCATIONS WITH TENANT.
- 100A BRANCH PANEL ADJACENT TO PANEL 'L4PA' TO BE REMOVED.
- COORDINATE LOCATION RECEPTACLE FOR NEON SIGN IN VESTIBULE.
- DISCONNECT EXISTING RTU AND LAND RE-USE EXISTING WIRING IF POSSIBLE TO CONNECT NEW UNIT.
- SALVAGE DUCT MOUNTED SMOKE DETECTOR TO EXISTING UNITS AND RE-INSTALL IN NEW RTU. MOUNT EXISTING TEST/RESET BUTTONS IN ACCESSIBLE LOCATION.

| PANEL NAME | | 200 AMP MLO | | SUB-FEED LUGS | | 100% NEUTRAL | | | |
|---------------------------|--------------------------------|----------------|-----------|--------------------|---------|-------------------------|-----------------|---------------------|---------|
| 4LPA (EXISTING) | | 120/208 VOLT | | FEED THRU LUGS | | IS BUS | | | |
| LOCATION | | 3 PHASE 4 WIRE | | SERVICE ENTRANCE | | 10K AIC | | | |
| CIR NO. | CIRCUIT DESCRIPTION | CIRC BRKR AMPS | WIRE POLE | LOAD VA | CIR NO. | CIRCUIT DESCRIPTION | CIRC. BRKR AMPS | WIRE POLE | LOAD VA |
| 1 | RECEPTACLES | 20 | 1 | 360 | 2 | RECEPTACLE - POS | 20 | 1 | 180 |
| 3 | RECEPTACLES | 20 | 1 | 360 | 4 | RECEPTACLES | 20 | 1 | 720 |
| 5 | RECEPTACLES | 20 | 1 | 540 | 6 | RECEPTACLES | 20 | 1 | 360 |
| 7 | RECEPTACLES | 20 | 1 | 540 | 8 | RECEPTACLES | 20 | 1 | 360 |
| 9 | RECEPTACLES | 20 | 1 | 900 | 10 | RECEPTACLES | 20 | 1 | 360 |
| 11 | RECEPTACLES | 20 | 1 | 900 | 12 | RECEPTACLES | 20 | 1 | 360 |
| 13 | LIGHTING - WORKOUT | 20 | 1 | 1,000 | 14 | RECEPTACLES | 20 | 1 | 360 |
| 15 | LIGHTING - WORKOUT | 20 | 1 | 1,000 | 16 | SPARE | 40 | 2 | |
| 17 | LIGHTING - OFFICE & RR | 20 | 1 | 1,000 | 18 | | - | - | |
| 19 | SIGNAGE (ROUTE THRU TIME LOCK) | 20 | 1 | 600 | 20 | | - | - | |
| 21 | SIGNAGE (ROUTE THRU TIME LOCK) | 20 | 1 | 500 | 22 | SPARE | 100 | 3 | |
| 23 | RECEPTACLES | 20 | 1 | 360 | 24 | | - | - | |
| 25 | RECEPTACLES - ROOF | 20 | 1 | 360 | 26 | SPARE | 30 | 2 | |
| 27 | CEILING FANS | 20 | 1 | 750 | 28 | | - | - | |
| 29 | CEILING FANS | 20 | 1 | 750 | 30 | EXH. FAN 'EF-1' | 20 | 1 | 250 |
| 31 | | - | - | 3,000 | 32 | | - | - | 3,000 |
| 33 | ROOF TOP UNIT - 4A (6T) | 40 | 3 | #8 | 34 | ROOF TOP UNIT - 4A (6T) | 40 | 3 | #8 |
| 35 | | - | - | 3,000 | 36 | | - | - | 3,000 |
| 37 | SPACE ONLY | | | | 38 | SPACE ONLY | | | |
| 39 | SPACE ONLY | | | | 40 | SPACE ONLY | | | |
| 41 | SPACE ONLY | | | | 42 | SPACE ONLY | | | |
| TOTAL CONNECTED LOAD (VA) | | 30,770 | | DEMAND LOADS | | LIGHTS: 4,000 | | HEAT: 18,000 | |
| X SURFACE MOUNTED | | | | | | RECEPTS: 7,000 | | COOLING: 18,000 | |
| FLUSH MOUNTED | | | | | | MOTORS: 1,750 | | APPLIANCE: 18,000 | |
| | | | | TOTAL DEMAND (VA): | | 30,770 | | TOTAL DEMAND (AMP): | |
| | | | | | | 85.4 | | | |



Floor Plan - Power
SCALE: 1/4" = 1'-0"



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LEE'S SUMMIT, MISSOURI

DATE FEB. 22, 2023
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