Date: 1/26/2023 Time: 11:54 User: mgrissom Style Table: Langan.stb Layout: Layout1 Document Code: 520054201-0601-CS501-0102

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, AI **BUILDING CODES, ZONING ORDINANCE AND DESIGN** STANDARDS. THIS REVIEW AND APPROVAL DOES NOT COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHE JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED

SIDEWALK OR RAMP (EXAMPLESIGNATURE

Date

Description

Revisions

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MATTHEW

DAVID KORTE

NUMBER

PE-2022042426

LANGAN

Langan Engineering and

Environmental Services, Inc

8951 Cypress Waters Blvd, Suite 150

Dallas, TX 75019

MO Certificate of Authorization No. F001330220

McDONALD'S

NEW PROJECT

L/C 024-1290

3720 WEST SUNSHINE STREET

SPRINGFIELD

STANDARD

DETAILS

Drawing No.

C10.2

www.langan.com

T: 817.328.3200

GREENE COUNTY

520054201

DECEMBER 2022

OROD

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TYPICAL CURB · AND GUTTER VARIES PER LOCATION LI 2" WIDE WHITE THERMO PLASTIC 30" CENTERS

ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN. GRADES SHALL BE MEASURED AT BACK OF CURB UNLESS OTHERWISE SPECIFIED.

REINFORCEMENT BAR ALONG

TOP OF CURB. MATCH BAR

- ASPHALT SECTION PER SOILS REPORT

REFER TO CONST PLANS FOR SLOPE

> NOTE:PROVIDE EXPANSION JOINTS @ 15'-0" O. C. (MAX.)

SIZE FROM TYP. PAVEMENT

SECTION AS SPECIFIED.

3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITYS SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT

- TYP. PAVING SECTION \$

MONOLITHIC CURB

3" CLR. -

NOT TO SCALE

I. REINFORCEMENT BAR SHALL MATCH BAR SIZE FROM

SEPARATE CURB & GUTTER

VERTICAL CURB @ DRIVE THRU

TYP. PAVEMENT SECTION AS SPECIFIED.

NOT TO SCALE

FOUNDATION

NOT TO SCALE

1/2" RESILIENT PRE-MOULDED

BITUMINOUS IMPREGNATED

FIBERBOARD

2. REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS.

REINFORCEMENT PER SPEC.

4. CONTROL JOINTS THROUGH CURB SHALL BE SEALED IN THE PAVEMENT AND TERMINATE AT THE GUTTER

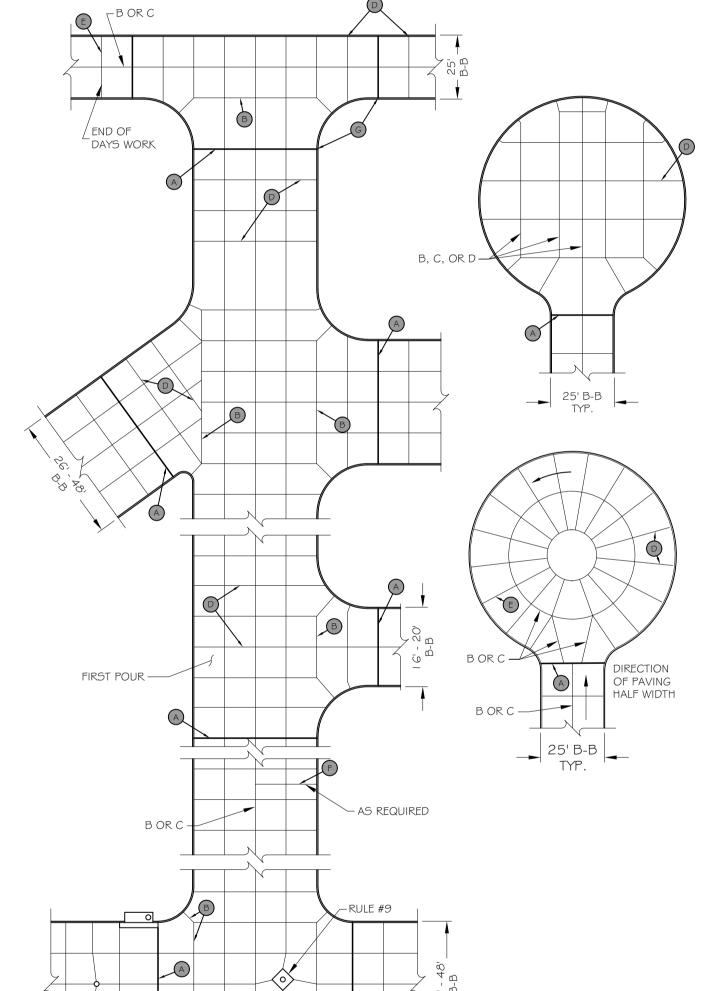
CROSSWALK/PEDESTRIAN CROSSING

I. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS

AS OUTLINED IN CHAPTER 3B OF THE MANUAL ON UNIFORM

TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS

N.T.S.



A. EXPANSION JOINT (ISOLATION)

3. LONGITUDINAL CONSTRUCTION JOINT . LONGITUDINAL CONTROL JOINT (CONTRACTION) TRANSVERSE CONTROL JOINT (CONTRACTION)

PLANNED TRANSVERSE CONSTRUCTION JOINT F. EMERGENCY TRANSVERSE CONSTRUCTION JOINT G. PLACE ½" EXPANSION JOINT FILLER IN TOP OF CURB ONLY AT ALL RADIUS POINTS

I. AVOID ODD-SHAPED SLABS. 2. MAXIMUM TRANSVERSE JOINT SPACING FOR PAVEMENT SHOULD EITHER BE 24 TO 30 TIMES THE SLAB THICKNESS OR 15ft.

3. LONGITUDINAL JOINT SPACING SHOULD NOT EXCEED 12.5ft 4. KEEP SLABS AS SQUARE AS POSSIBLE. LONG NARROW SLABS TEND TO CRACK MORE THAN SQUARE ONES. 5. ALL TRANSVERSE CONTRACTION JOINTS MUST BE CONTINUOUS THROUGH THE CURB AND

HAVE A DEPTH EQUAL TO 1/4 THE PAVEMENT THICKNESS. 6. IN ISOLATION JOINTS, THE FILLER MUST BE FULL DEPTH AND EXTEND THROUGH THE CURB 7. IF THERE IS NO CURB, LONGITUDINAL JOINTS SHOULD BE TIED WITH DEFORMED BARS. 8. OFFSETS AT RADIUS POINTS SHROUD BE AT LEAST 1.5ft WIDE. JOINT INTERSECTION

ANGLES LESS THAN 60° SHOULD BE AVOIDED. 9. MINOR ADJUSTMENTS IN JOINT LOCATION MADE BY SHIFTING OF SKEWING TO MEET INLETS AND MANHOLES WILL IMPROVE PAVEMENT PERFORMANCE 10. WHEN THE PAVEMENT AREA HAS DRAINAGE STRUCTURES, PLACE JOINTS TO MEET THE

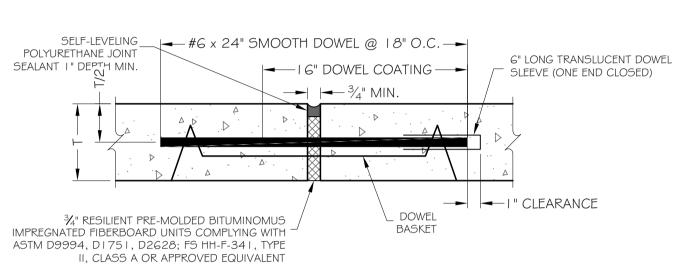
STRUCTURES IF POSSIBLE.

TYPICAL JOINTING LAYOUT

MANUFACTURER'S RECOMMENDATIONS. 2. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC #6 x 24" DEFORMED BARS — _ TRANSVERSE EXPANSION DOWELED AND EPOXYED INTO JOINT WITH SILICONE JOINT EXISTING PAVEMENT @ 18" O.C. SEALANT (SEE JOINT DETAIL) & FIBER EXISTING CONCRETE — PAVEMENT PAVEMENT FIRST POUR PROPOSED SUBGRADE PER EXISTING SUBGRADE TYPICAL ROADWAY SECTION FIRST POUR

TRANSVERSE EXPANSION JOINT

NOT TO SCALE

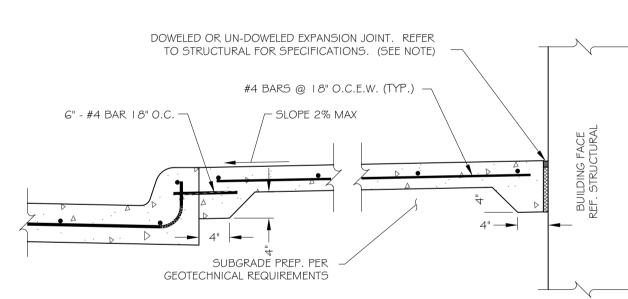


SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/2" GREATER THAN THE DIAMETER OF THE DOWELS. EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED

- PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA ISOG I .O I P (LATEST VERSION). 3. DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT 4. REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
- 5. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
- FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/4".

EXPANSION JOINT (ISOLATION)

NOT TO SCALE

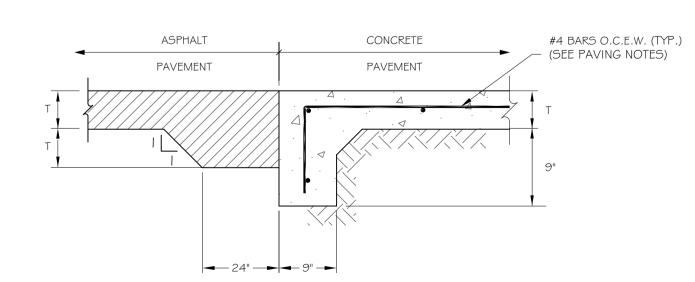


- I. ALL SIDEWALK JOINTS LOCATED WITHIN 25' OF A BUILDING FACE OR ADJACENT TO ANY STRUCTURE SHALL BE SEALED. 2. REFER TO STRUCTURAL PLANS/DETAILS FOR DOWEL/HINGE JOINT AT ALL CONNECTIONS BETWEEN FOUNDATIONS/STOOPS
- 3. THE SUBGRADE PREPARATION FOR ANY FLATWORK OR SIDEWALK PAVEMENT WITHIN 25' FROM ANY BUILDING FACE OR ADJACENT TO ANY STRUCTURE SHALL AS SPECIFIED BY THE GEOTECHNICAL REPORT. IN THE EVENT THAT THE GEOTECHNICAL REPORT DOES NOT CONTAIN A RECOMMENDATION THE CONTRACTOR SHALL NOTIFY THE ENGINEER
- 4. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

SIDEWALK/BUILDING INTERFACE

5. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".

NOT TO SCALE



- PAVEMENT BARS SHALL BE BENT DOWN INTO HEADER.
- . HEADER AND PAVEMENT SHALL BE MONOLITHIC. 3. REINFORCEMENT STEEL SHALL BE PER PAVEMENT SECTION SPECIFICATIONS. 4. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
- 5. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED //a". 6. SUBGRADE PREPARATION SHALL BE PER GEOTECHNICAL REPORT SPECIFICATIONS.

ASPHALT TO CONCRETE HEADER

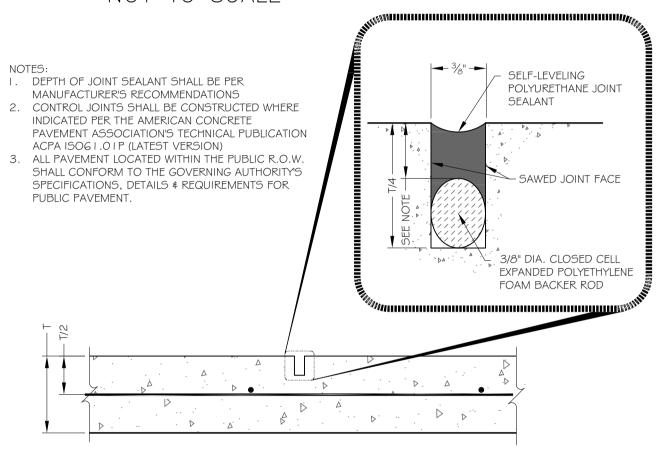
NOT TO SCALE

I. DEPTH OF JOINT SEALANT SHALL BE PER - SELF-LEVELING POLYURETHANE JOINT CELL EXPANDED POLYETHYLENE FOAM BACKER ROD SECOND POUR SECOND POUR

LAP BARS 30 DIA. \$ TIE

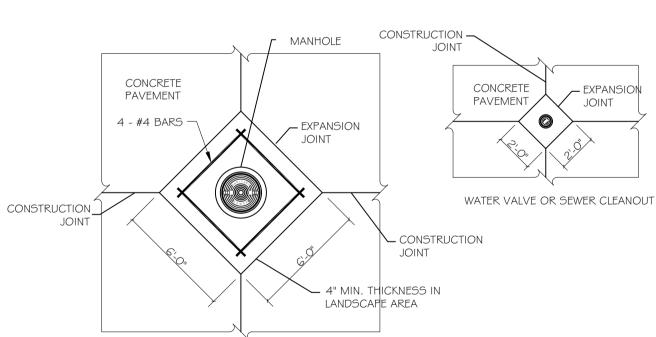
CONSTRUCTION BUTT JOINT

NOT TO SCALE



CONTROL JOINT (CONTRACTION)

NOT TO SCALE



NOTES:

DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

. ALL ASPHALT PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES. . BOXOUT REQUIRED FOR ALL MANHOLES (STORM AND SANITARY) AND CLEANOUTS LOCATED IN PCC PAVEMENT. MANHOLE BOXOUT SHALL BE 6'x6' SQUARE AND ALIGNED WITH PAVEMENT JOINTING.

H. WATER VALVE & SANITARY CLEANOUTS SHALL BE PLACED IN BOXOUTS 2'x2' SQUARE ALIGNED WITH PAVEMENT JOINTING. 5. MANHOLES OR VALVES LOCATED IN LANDSCAPE AREAS SHALL INCLUDE 4' MIN. CONCRETE COLLAR TO THE DIMENSIONS INDICATED ABOVE AND SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.

6. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS,

MANHOLE/VALVE/CLEANOUT/LIGHT POLE JOINTING

EXPANSION JOINT FILLER CONCRETE FUTURE PAVEMENT PAVEMENT #4 BARS O.C.E.W. (TYP.) (SEE PAVING NOTES)

> STREET HEADER FOR FUTURE PAVEMENT NOT TO SCALE

SECOND POUR TYPICAL MONOLITHIC OR SEPARATE CURB AND GUTTER - I "x3" KEYWAY - #4 BARS @ 12" CENTERS #4 BENT BARS @ 12" CENTERS CLEAN COARSE GRAVEL AT EACH DRAIN PIPE WRAPPED IN / I ½" DIA. PVC WEEP HOLE @ 8' O.C FILTER FABRIC. GRAVEL LAYER TO RUN LENGTH OF WALL. IMPERVIOUS SELECT MATERIALS (ON-SITE IF SUITABLE) COMPACTED TO 90% STD. PROCTOR DENSITY 6" CRUSHED GRAVEL -

REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS. 2. REINFORCING STEEL SHALL COMPLY WITH ASTM AG I 5, GRADE 60. 3. BACKFILLING AGAINST REINFORCED DEEPENED CURB SHALL NOT BE PERMITTED UNTIL CONCRETE HAS REACHED ITS 28 DAY STRENGTH. CARE SHALL BE TAKEN TO AVOID EXERTING LARGE IMPACT FORCES ON THE DEEPENED CURB.

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NOT TO SCALE

DEEPENED CURB

SOILS REPORT

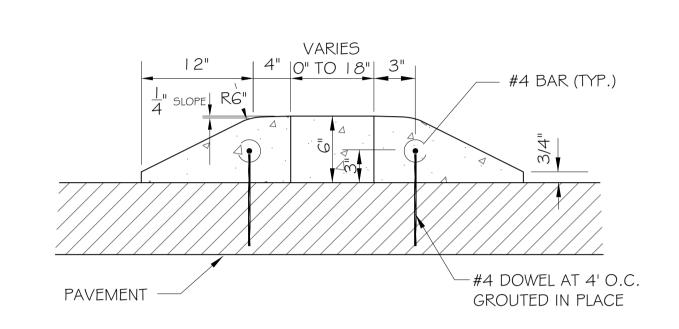
NOT TO SCALE NOT TO SCALE

PRJ2023-00032

(TYP BOTH ENDS WITH GUTTER FLOWLINE MAINTAINED) REF. PAVING SECTION KEYED OR DOWELED JOINT WITH PER SOILS REPORT POLYURETHANE JOINT SEALANT. NO. 4 BARS 18" PAVING SLAB \ PROPOSED PAVING (IF EURB WITH THICKENED APPLICABLE) EDGE IF APPLICABLE SOILS REPORT

SEPARATE MOUNTABLE CURB & GUTTER NOT TO SCALE

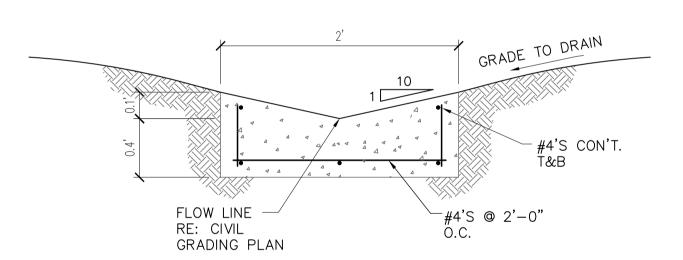
ASPHALT SECTION PER SOILS REPORT



MOUNTABLE CURB RAISED ISLAND

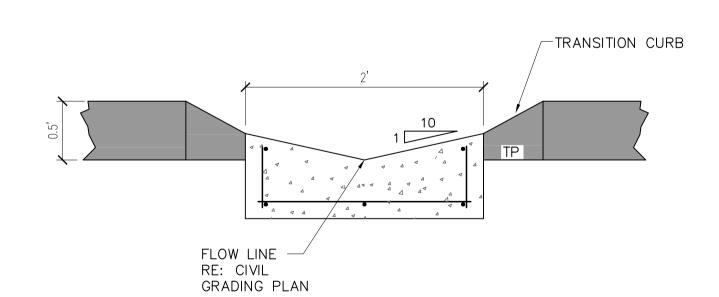
NOT TO SCALE

STANDARD CURB



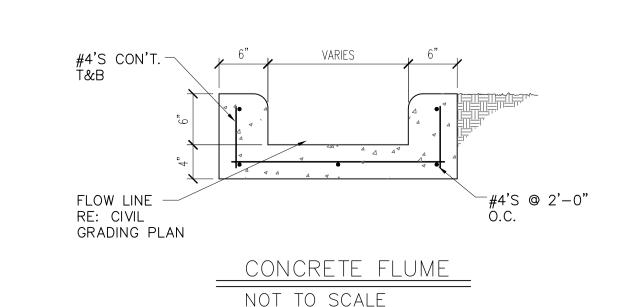
V-NOTCH CONCRETE SWALE IN GRASS AREA

NOT TO SCALE



V-NOTCH CONCRETE SWALE & TRANSITION CURB

NOT TO SCALE



STANDARD CURB
(TYP BOTH ENDS WITH GUTTER FLOWLINE MAINTAINED) KEYED OR DOWELED JOINT WITH POLYURETHANE JOINT SEALANT. NO. 4 BARS 18" C-C BOTH WAYS PAVING SLAB DOWEL PAVING INTO EURB WITH THICKENED APPLICABLE) EDGE IF APPLICABLE

TURN DOWN CURB

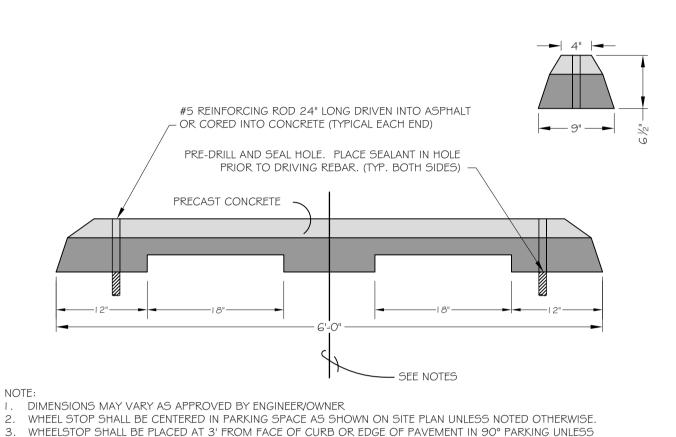
TYPICAL FULL CONCRETE CURB —

(PER PLAN) -

6" TYP. UNLESS NOTED OTHERWISE -

TOP OF PAVEMENT

NOT TO SCALE



12" MIN. OR AS

SPECIFIED PER PLAN

BEGIN CURB TRANSITION WHERE

END CURB

TRANSITION WHERE

SPECIFIED PER PLAN

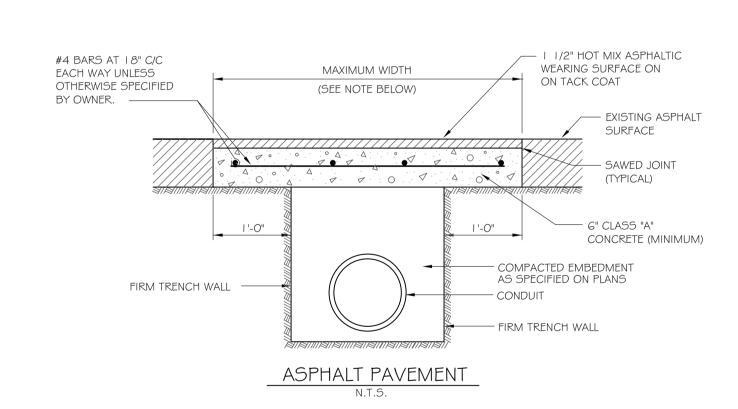
- SPECIFIED PER PLAN

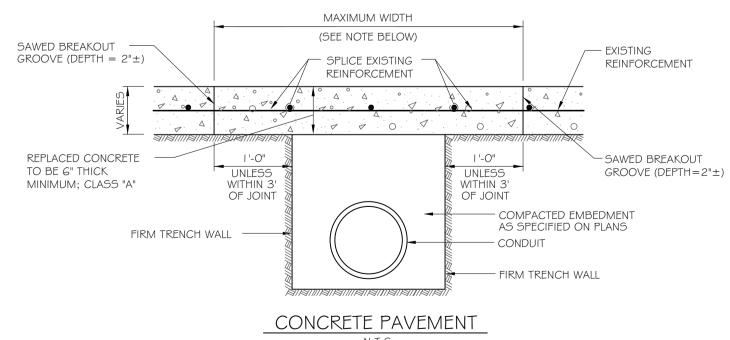
WHEEL STOP

NOTED OTHERWISE.

NOTE:

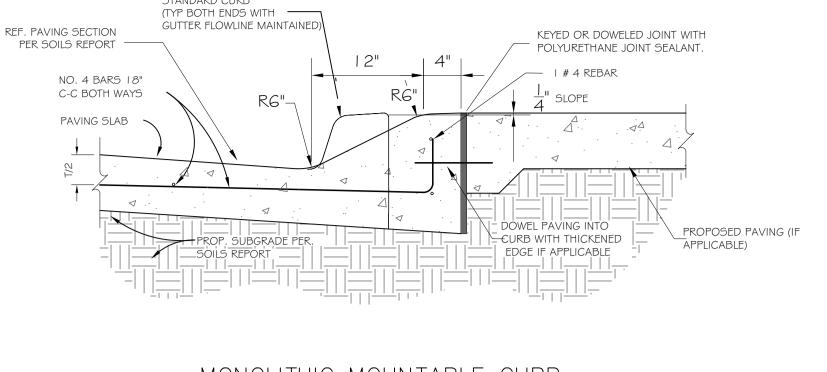
NOT TO SCALE





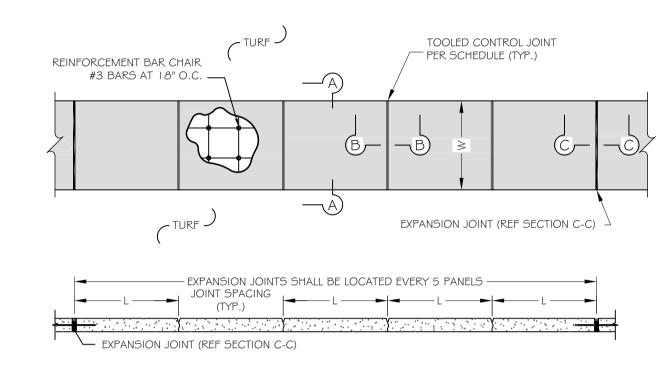
I. WHEN REMOVING CONCRETE PAVEMENT THE CONTRACTOR SHALL ENDEAVOR TO LIMIT DAMAGE TO EXISTING REINFORCEMENT SO IT MAY BE EMPLOYED IN THE REPLACEMENT OPERATION. IF ORIGINAL REINFORCEMENT IS CUT OR BROKEN, REPLACEMENT BARS OF THE SAME SIZE SHALL BE INSTALLED BY DRILLING AND DOWELING AS DIRECTED BY THE OWNER.

PAVEMENT CUT REMOVAL & REPLACEMENT NOT TO SCALE



MONOLITHIC MOUNTABLE CURB

NOT TO SCALE

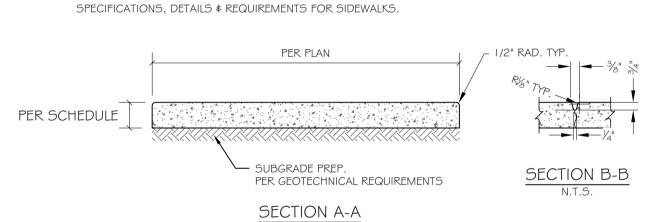


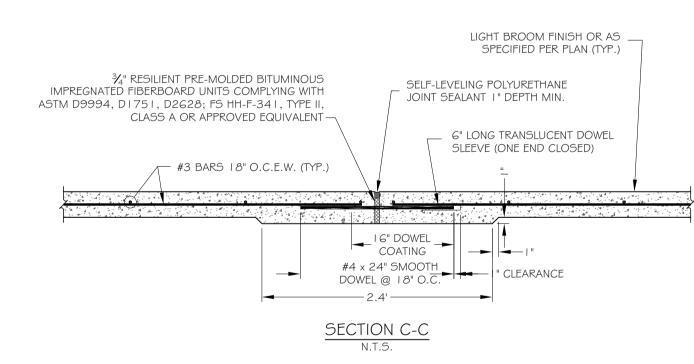
SAND CUSHION WILL NOT BE PERMITTED UNDER SIDEWALKS OR OTHER PAVEMENT. DOWEL WITH #4 BARS AT 18" C-C WHEN CONNECTING TO EXISTING SIDEWALKS, DRIVEWAYS, CURBS AND GUTTER.
 REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS OR AS SPECIFIED BY THE

AUTHORITY HAVING JURISDICTION, WHICHEVER IS GREATER. 4. ALL JOINTS LOCATED WITHIN LARGE AREAS OF CONCRETE FLATWORK (PLAZA AREAS OR PAVEMENT BETWEEN BUILDINGS) SHALL BE SEALED WITH POLYURETHANE JOINT SEALANT PER JOINT DETAILS THIS SHEET.

JOINT SEALANT IS NOT REQUIRED ON SIDEWALKS LOCATED IN TURF AREAS. ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITYS

5. CONTRACTOR SHALL SUBMIT FULL-SIZE SCALEABLE PLAZA AREAS JOINT LAYOUT FOR APPROVAL.





I. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF $//_6$ " GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE. 2. DOWEL COATING SHALL BE ASPHALTIC COATING.

SIDEWALK PANEL						
SCHEDULE						
SIDEWALK WIDTH = W (FT.)	SIDEWALK THICKNESS = T (IN.)	JOINT SPACING = L (FT.)				
4	4	4				
5	4	5				
6	4	5				
7	5	7				
8	5	8				
9	5	9				
10	5	10				

LANDSCAPE SIDEWALK

NOT TO SCALE

L/C 024-1290

3720 WEST SUNSHINE STREET

SPRINGFIELD

STANDARD

DETAILS

Drawing No.

C10.3

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Description

Revisions

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Sheet **18** of **29** Date: 1/26/2023 Time: 11:54 User: mgrissom Style Table: Langan.stb Layout: Layout1 Document Code: 520054201-0601-CS501-0104

Checked By

GREENE COUNTY

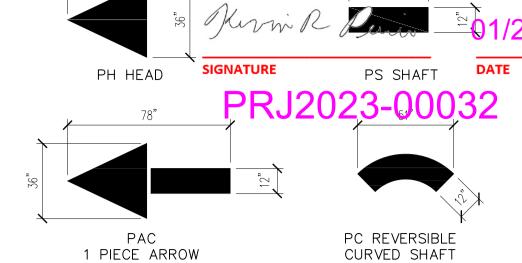
Drawing Title

Project No.

520054201

DECEMBER 2022

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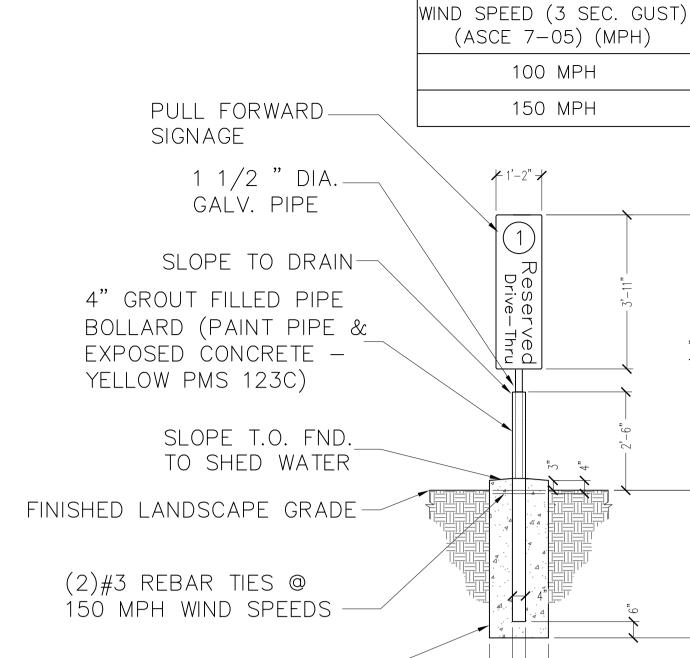
TYPICAL PAVEMENT MARKING NOT TO SCALE

NOTES: 1. ALL TEXT SHALL BE PAINTED YELLOW (PMS 123). 2. PLACE 30'-0" FROM CENTERLINE OF PICK UP BOOTH.

> PAINTED "THANK YOU" NOT TO SCALE

EDGE OF PAVEMENT OF FACE OF CURB STOP BAR

1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.



OOSP & MOBILE PARKING SIGN DETAIL (IN LANDSCAPE AREAS) N.T.S.

7" * * * 7"

3'-9"

5'-3"

OBJECTIVE OF STANDARDIZATION:

PULL FORWARD-

McDONALD'S OBJECTIVE IS TO STANDARDIZE OPTIMUM MARKINGS IN THE UNITED STATES TO ASSIST CUSTOMERS IN EASILY FINDING THE DRIVE-THRU LANES. THE MARKING POSITIONS ARE TO GUIDE THEM FROM ANY ENTRANCE ON THE PARKING LOT TO THE DRIVE-THRU LANE USING THE OPTIMUM ROUTE. THIS IS TYPICALLY AWAY FROM THE PRIMARY DRIVE AISLE, MOST COMMON ENTRANCE OR AROUND THE BUILDING TO INCREASE STACKING IN THE LANE. THE STANDARDIZATION FROM REGION TO REGION ASSISTS GUESTS WITH CONVENIENTLY FINDING THE DRIVE-THRU'S.

OOSP & MOBILE PARKING SIGN DETAIL (IN PAVING AREAS)

STANDARD LOT STRIPING STENCILS AND PAINT COLOR: THESE ARE AVAILABLE FROM BETH BELL AT PAVEMENT STENCIL COMPANY, 4347-A AEROSPACE ROAD SE, ROANOKE, VA, 24014, 1-800-250-5547. THE FOLLOWING DESCRIPTION IS WHAT YOU WOULD SAY AS YOU ORDER. SHE HAS NO PART NUMBERS ASSOCIATED WITH THESE:

LOT STRIPING STENCILS DESCRIPTION

DRIVE THRU ROUND CIRCLE (DIRECTIONAL ARROW)

THANK YOU DOUBLE HEADED ARROW FOR A DOUBLE DRIVE-THRU IS MADE UP OF THREE COMPONENTS.

PC SHAFT 12"W X 36"L, A PC REVERSIBLE

CURVED SHAFT 12"W X 51"L

PH ARROW HEAD 38"L X 36"W

LANE STRIPE IS A 6" WIDE STRIPE DONE BY THE LOT STRIPING COMPANY. 39" ADA HANDICAP TEMPLATE PAINT COLOR: THIS IS FOR ALL DRIVE—THRU DIRECTIONAL STRIPING

INCLUDING THE PAINTED STRIPE FOR THE LANE. THE PAINT COLOR SHOULD MATCH PMS 123 YELLOW. PROVIDE YELLOW PAINT ON ALL DRIVE-THRU MARKINGS UNLESS NOTED OTHERWISE.

GUIDING PRINCIPLES

ALL ENTRANCES TO THE LOT

 THE WORD DRIVE THRU IS PLACED AT ALL ENTRANCES TO THE LOT. APPROXIMATELY 25'-30' FROM THE CURB OR SIDEWALK. THEY SHOULD BE CENTERED IN THE DRIVEWAY (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC). RATIONALE: THIS ALLOWS THE CUSTOMER TO MOVE SAFELY ONTO THE LOT AND SEE THE DRIVE-THRU DIRECTIONAL ARROW WHEN THEY ARE SAFELY OFF THE STREET. ROUND CIRCLE (DIRECTIONAL ARROW): THE CIRCLE ARROW SHOULD BE

CENTERED ABOVE THE WORD "DRIVE" APPROXIMATELY 5 FEET FURTHER INTO THE PARKING LOT. RATIONALE: THE STANDARD YELLOW COLOR WITH THE WORD DRIVE-THRU SEEN FIRST AND THE ROUND ARROW BEGINS TO BRAND THE MARKINGS.

LOT DIRECTIONAL MARKINGS:

• ROUND CIRCLE (DIRECTIONAL ARROW): THE ARROWS SHOULD BE SPACED EVERY 40 TO 60 FEET. THIS ALLOWS EVENLY POSITIONED ARROWS THROUGHOUT THE LOT. RATIONALE: THE STRATEGIC POSITIONING ALLOWS THE CAR TO REACH AN ARROW AND OFF IN THE DISTANCE SEE THE NEXT DIRECTIONAL ARROW. THIS LEADS THEM IN THE

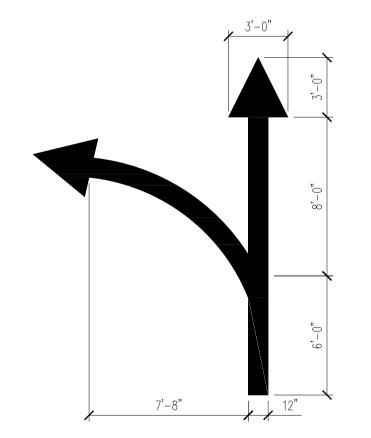
• ANY LOT STRIPING OTHER THAN THE DRIVE-THRU SHOULD BE WHITE. IF THE CITY CODE REQUIRES BLUE WITH THE HANDICAP PARKING STALLS THAT IS AN ACCEPTABLE DEVIATION. RATIONALE: THIS HELPS SUBTLY IDENTIFY WHAT IS A DRIVE-THRU MARKING FROM THE PARKING LOT MARKING AND CREATES A RUNWAY PATH TO THE LANE ENTRANCE.

ENTRANCE. THESE ARE WITHIN 10FT FROM INGRESS POINT AND IS DESIGNED TO BE SEEN CLEARLY BEFORE A CAR MAKES A TURNING COMMITMENT. RATIONALE: THE CONSISTENCY HERE WILL HELP CUSTOMERS IDENTIFY THE FLOW OF TRAFFIC ON ALL ENTRANCES FOR

 ANY ADDITIONAL WHITE ARROWS NEEDED SHOULD BE POSITIONED IN BETWEEN THE DRIVE-THRU DIRECTIONAL MARKINGS.

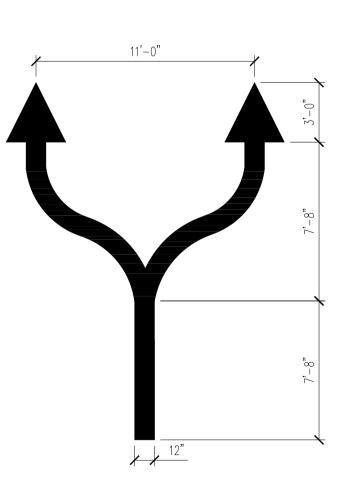
ANY WORDING NEEDED OTHER THAN FOR THE DRIVE—THRU AREA

SHOULD YOU HAVE ADDITIONAL QUESTIONS FEEL FREE TO CONTACT THE McDONALD'S RESTAURANT DESIGN GROUP AT THE HOME OFFICE FOR FURTHER CLARIFICATIONS.



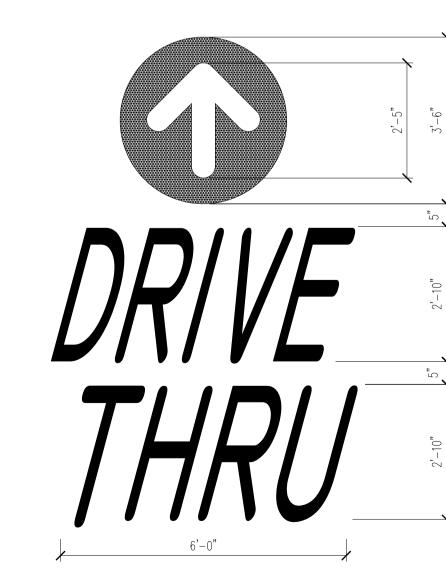
THIS IS TO BE USED ON ANY DESIGN THAT WOULD REQUIRE A "T" GATEWAY. ONLY DESIGNS THAT DO NOT HAVE A SINGLE ENTRY THAT LEADS A CAR RIGHT AT THE DECISION POINT OF THE TIP OF THE ISLAND. ONLY ONE OF OUR STANDARDS TEMPLATES HAS THIS DESIGN.

> T-GATEWAY DRIVE-THRU MARKING



THIS IS TO BE USED ON ALL DESIGNS THAT HAVE A SINGLE POINT OF ENTRY THAT LEADS A CAR DIRECTLY TOWARD THE TIP OF THE ISLAND

> DOUBLE DRIVE-THRU MARKING NOT TO SCALE



_SEE SITE PLAN

FOR RADIUS

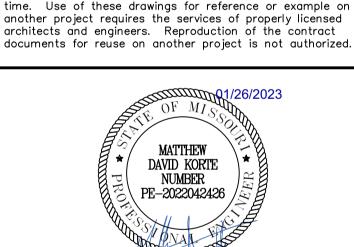
STOP SIGN (TYP.)

ALL TEXT AND ARROWS SHALL BE PAINTED YELLOW (PMS 123)

> PAINTED "DRIVE THRU" MARKING NOT TO SCALE

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> Environmental Services, Inc. 8951 Cypress Waters Blvd, Suite 150 Dallas, TX 75019

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McDONALD'S **NEW PROJECT** L/C 024-1290

3720 WEST SUNSHINE STREET SPRINGFIELD

DETAILS

MISSOURI

STANDARD

⊃roject No. Drawing No. 520054201

C10.4 **DECEMBER 2022** rawn By OROD Checked By

Sheet **19** of **29** Date: 1/26/2023 Time: 11:54 User: mgrissom Style Table: Langan.stb Layout: Layout1 Document Code: 520054201-0601-CS501-0105

GREENE COUNTY

Drawing Title

SIGNAGE 1 1/2 " DIA.— GALV. PIPE SLOPE TO DRAIN-4" GROUT FILLED PIPE BOLLARD (PAINT PIPE & EXPOSED CONCRETE -YELLOW PMS 123C) 1/2" FOAM WRAP -PATCH CONCRETE WITH SEALANT TO MATCH EXISTING CONCRETE PAVING #30 FELT SLIP SHEET (2)#3 REBAR TIÉS @ 150 MPH WIND SPEEDS 18" DIA. CONCRETE PIER 7" / 7" 18" DIA. CONCRETE PIER

DESIRE DIRECTION.

 IF THERE ARE 5 OR MORE ARROWS ROUTING SOMEONE TO THE DRIVE-THRU THEN PLAN THE CORRECT PLACEMENT TO ADD THE WORD DRIVE-THRU AND POSITION THE ARROW CENTERED ABOVE THE WORD "DRIVE" SIMILAR TO THE ENTRANCE. THIS IS TO BE CENTERED BETWEEN THE ARROWS ON THE PARKING LOT. AN EXAMPLE IS IT TAKES EIGHT ARROWS TO GUIDE SOMEONE FROM THE ENTRANCE TO THE DRIVE-THRU ENTRANCE. YOU MIGHT DECIDE TO PLACE THE WORD DRIVE-THRU AT THE 4TH ARROW POSITION. RATIONALE: THE LONGER THE RUN TO THE DRIVE-THRU THIS REAFFIRMS THE COLOR AND DIRECTIONAL ARROWS ARE STEERING THEM IN THE RIGHT DIRECTION FOR THE DRIVE-THRU ENTRANCE.

DRIVE-THRU ENTRANCE:

 THE DOUBLE HEADED ARROW FOR DOUBLE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC APPROPRIATELY TO EITHER LANE AS THEY APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION. RATIONALE: EACH CUSTOMER READS FROM DIFFERENT LEVELS SOME BY LOT MARKINGS, SOME AT EYE LEVEL AND OTHERS LOOK ABOVE THE VEHICLES. BY ADDRESSING ALL OF THESE METHODS IN BRANDING, THE USE IS SIMPLIFIED FOR THE MAJORITY OF THE GUESTS. THE DOUBLE ARROW INCREASES THE USAGE OF THE OUTSIDE LANE IN OFF PEAK TIMES HELPING THE RESTAURANT MAXIMIZE THE CAPACITY.

PARKING LOT STRIPING NOT IN THE DRIVE-THRU:

THE ENTRANCES WILL ALL HAVE A WHITE INGRESS / EGRESS ARROW FOR THE CUSTOMER TO EASILY IDENTIFY IF IT IS A ONE WAY OR TWO-WAY

THE CONSUMER WHEN THEY ARE AT A DECISION POINT.

SHOULD BE IN WHITE AND POSITIONED SO IT DOES NOT INTERFERE WITH THE DRIVE-THRU MARKINGS.

NOT TO SCALE

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, AD

PRJ2023-00032

Date

Description

Revisions

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MATTHEW

DAVID KORTE NUMBER

PE-2022042426

Environmental Services, Inc.

8951 Cypress Waters Blvd, Suite 150

Dallas, TX 75019

MO Certificate of Authorization No. F001330220

McDONALD'S

NEW PROJECT

L/C 024-1290

3720 WEST SUNSHINE STREET

SPRINGFIELD

STANDARD

DETAILS

Drawing No.

C10.5

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T: 817.328.3200

GREENE COUNTY Drawing Title

MQ1/26/2023

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30" DIA. MIN. OPENING TRAFFIC-DUTY FRAME AND COVER BASS \$ HAYS #VMR 30 (OR APPROVED EQUAL). PLAN OUTSIDE GROUT. - INSTALL NO MORE THAN I CONCRETE ADJUSTMENT RING. THE I E-Z STICK → RING SHALL BE NO MORE THAN 6" INCHES. ALL JOINTS IN MANHOLE TO HAVE "O" RING RUBBER GASKETS. WHERE SEWER RUNS STRAIGHT THROUGH A STANDARD MANHOLE, THE PIPE SHALL BE CONTINUOUS. THE TOP 1/2 OF THE PIPE SHALL BE BROKEN OUT AFTER COMPLETION. PIPE SHALL BE CUT OUT FLUSH WITH INSIDE FACE OF WALL.

GROUT BOTTOM OF MANHOLE TO 1/2 DIAMETER AT PIPE AND SLOPE GROUT 2" TOWARD INVERT.

ALL PRE-CAST MANHOLE RISERS AND SECTIONS SHALL BE REINFORCED CONCRETE AND SHALL CONFORM TO

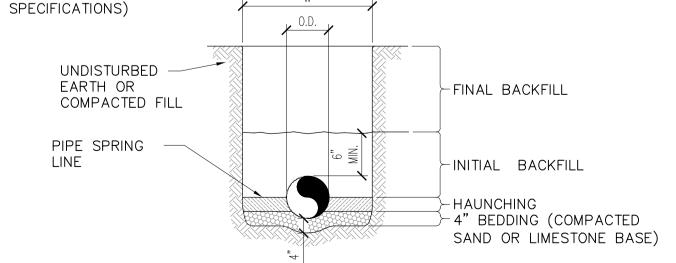
NOTE: WATERSTOP SLEEVE SHALL BE INCORPORATED INTO THE PRECAST MANHOLE SECTIONS. - MINIMUM SLAB THICKNESS, 8" FOR 14' DEPTH WITH #4 BARS @ 12" O.C.E.W. INCREASE THICKNESS I" FOR EACH 4' OF DEPTH GREATER SECTION THAN 14'.

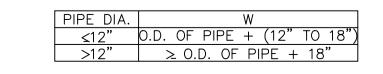
ASTM SPECIFICATIONS C-478.

SANITARY SEWER MANHOLE DETAIL N.T.S.

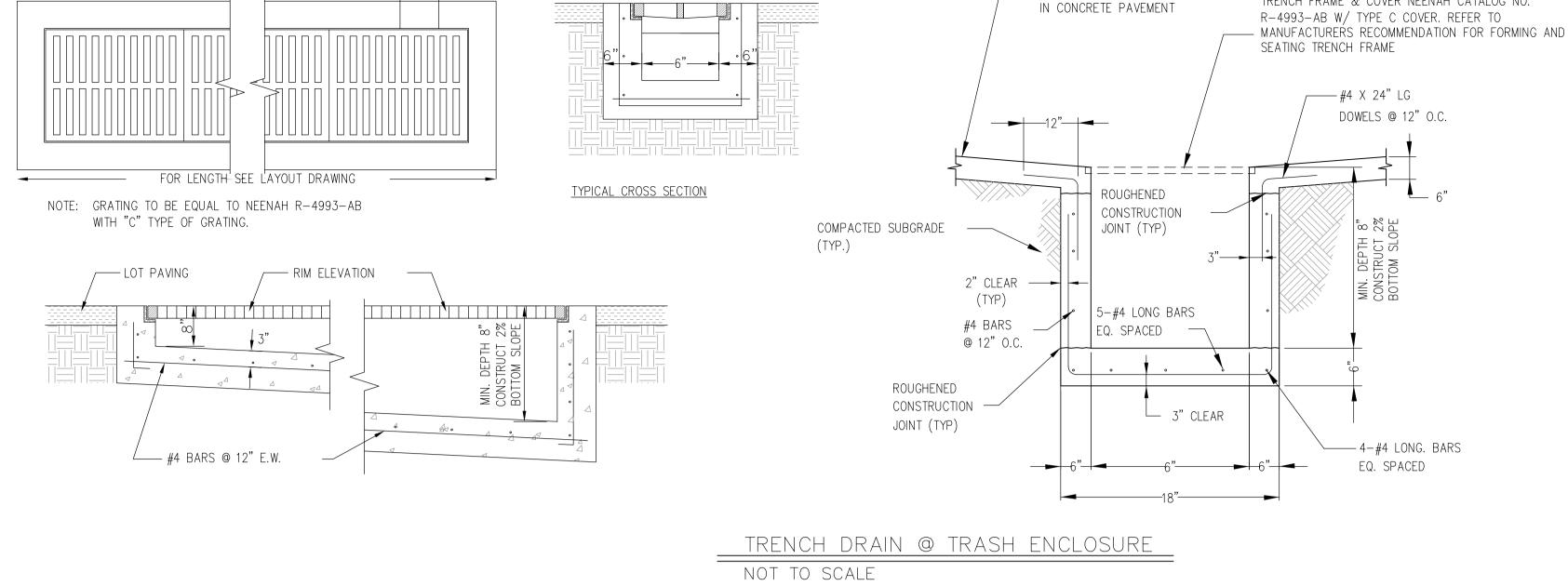
GENERAL NOTES:

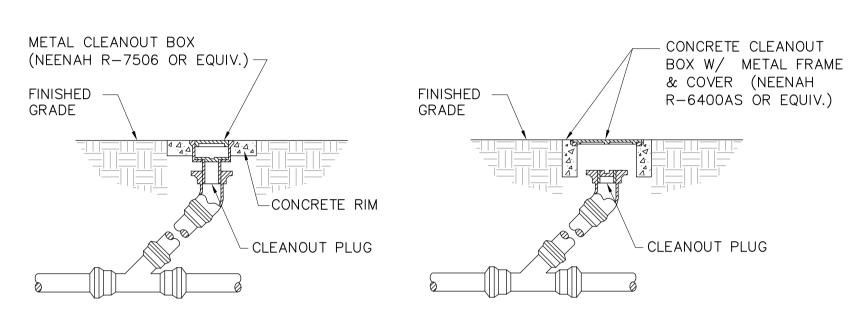
- 1. BEDDING SHALL BE CLASS I—A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR.
- 2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- 3. INITIAL BACKFILL SHALL BE CLASS I—A WORKED BY HAND, OR CLASS I—B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- 4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- 5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3 AND 4.
- 6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- 8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE
- 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHAWREGULATIONS AND LOCAL ORDINANCES. (SEE





UTILITY TRENCHING & BEDDING NOT TO SCALE





CLEANOUT IN UNPAVED AREAS

CLEANOUT IN PAVED AREAS

G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.

> EXTERIOR CLEANOUT NOT TO SCALE

EXTERIOR TRAP AT TRENCH DRAIN NOT TO SCALE

RUNNING P-TRAP

FINISHED

GRADE

VENT TO ROOF OR-

10' ABOVE GRADE

WYE WITH #" -

BEND FOR VENT

—— SEE GEOTECH REPORT

FOR REINFORCEMENT

TRENCH FRAME & COVER NEENAH CATALOG NO.

CONCRETE CLEANOUT

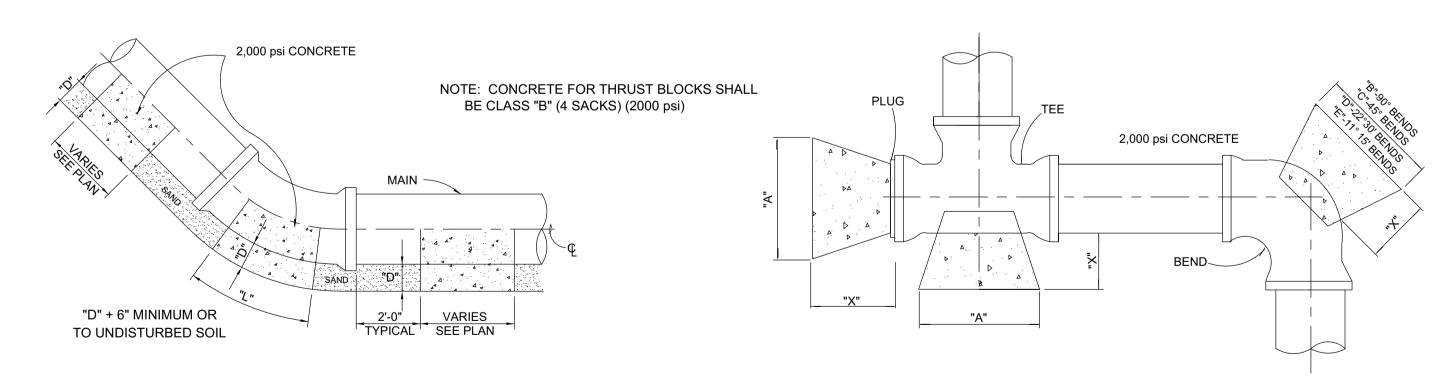
& COVER (NEENAH

-WYE WITH ॄ BEND

DIRECTION OF FLOW

R-6400AS OR EQUIV.)

BOX W/ METAL FRAME



	11°	- 15°	22° - 30°		45°		90°		
PIPE SIZE	L	MAX. VOL.	L	MAX. VOL.	L	MAX. VOL.	L	MAX. VOL.	
6"	0.42	0.02	0.45	0.02	0.50	0.02	1.00	0.04	
8"	0.42	0.02	0.45	0.02	0.80	0.04	1.40	0.06	
10"	0.42	0.03	0.58	0.03	1.15	0.06	2.03	0.11	
12"	0.42	0.04	0.73	0.05	1.43	0.09	2.53	0.17	
16"	0.42	0.08	0.74	0.14	1.48	0.27	2.61	0.48	
18"	0.66	0.14	1.30	0.28	'		I ≜		
20"	0.77	0.18	1.53	0.36	SEE PLAN → SHEET FOR - BLOCKING		SEE PLAN SHEET FOR - BLOCKING		
18"	0.88	0.18	1.74	0.37					
20"	1.03	0.24	2.04	0.38			SEE PL M-SHEET F BLOCKI		
18"	1.05	0.22	2.03	0.43					
20"	1.20	0.28	2.38	0.56					

CONCRETE CRADLE NOTE: MEGA LUG RETAINER GLANDS SHALL BE AT VERTICAL BENDS

CONCRETE **THRUST BLOCKING**

 10"
 1'-6"
 1'-9"
 2.95
 0.17
 2'-0"
 4.17
 0.24
 1'-6"
 2.26
 0.13
 1'-3"
 1.15

 12"
 1'-6"
 2'-0"
 4.25
 0.24
 2'-3"
 6.00
 0.34
 1'-9"
 3.25
 0.18
 1'-3"
 1.65

 16"
 2'-0"
 2'-7"
 7.34
 0.56
 3'-0"
 10.65
 0.79
 2'-3"
 5.76
 0.43
 1'-8"
 2.94

 18"
 2'-0"
 2'-11"
 7.70
 0.57
 3'-8"
 10.89
 0.82
 2'-6"
 5.89
 0.44
 1'-10"
 3.01

BLOCKING TABLE

45° BENDS

CALCULATIONS IN MAXIMUM VOLUME COLUMN ARE IN CUBIC YARDS.

PLUGS & TEES

NOTE: CALCULATIONS IN MINIMUM AREA COLUMN ARE IN SQUARE FEET.

THRUST BLOCKING NOT TO SCALE

USED ON ALL FITTINGS AND BENDS

Sheet **20** of **29** Date: 1/26/2023 Time: 11:59 User: mgrissom Style Table: Langan.stb Layout: Layout1 Document Code: 520054201-0601-CS501-0106

Checked By

⊃roject No.

520054201

DECEMBER 2022

OROD

ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER

JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

CENTF

— MULCH, TYP.

- SOD, TYP

ASPHALT

— SOD, TYP.

— SOD, TYP.

RIVER ROCK, TYP.

– RIVER ROCK, TYP

— MULCH, TYP.

- STEEL EDGE, TYP.

McDONALD'S

- MULCH, TYP.

— SOD, TYP.

BB45-97 FF 1263.00

Revisions

Description

Date

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Environmental Services, Inc.

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McDONALD'S **NEW PROJECT** L/C 024-1290

3720 WEST SUNSHINE STREET SPRINGFIELD

GREENE COUNTY Drawing Title

LANDSCAPE PLAN

Project No. Drawing No. 520054201 **JANUARY 2022** rawn By DH

Know what's **below. Call** before you dig. Sheet **21** of **29** Date: 1/11/2023 Time: 10:54 User: dholland Style Table: Langan.stb Layout: Layout1 Document Code: 520054201-0601-LS001-0101

Checked By

LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work. Notify Landscape Architect or designated representative of any layout discrepancies

or any condition which may prohibit the installation as shown. Verify and locate all utilities and site lighting conduits before landscape construction

begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9") . If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

indicated in the plant material list.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/16" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a ¼" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz, woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of river rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.

SOD PROJECT NOTES

Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until

ESTABLISHMENT and ACCEPTANCE is achieved.

All slopes and areas disturbed by construction, except those occupied by buildings structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drug with a weighted spike harrow or

GRASS SOD:

watered until firmly established.

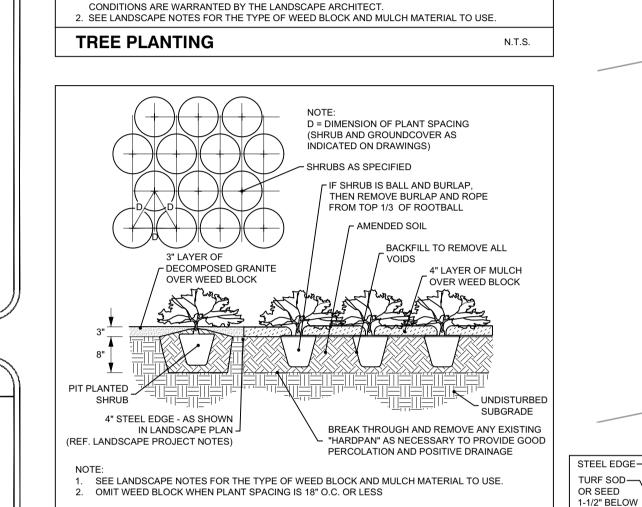
accepts and assumes regular maintenance.

furfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, virile system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a grown-in appearance.

In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS: Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative



1. ARBORTIE SHOULD ONLY BE USED AS A REMEDIAL MEANS TO PLUMB A TREE WHEN THE

PRIMARY BELOW GRADE STAKING CAN NO LONGER BE ADJUSTED EFFECTIVELY AND

2"x2" UNTREATED CROSS MEMBER

TO A LENGTH TO SPAN OPEN PIT

PLACE TOP OF ROOT BALL

MIN. 1" - MAX. 2" ABOVE GRADE

- 4" MULCH OVER WEED BLOCK

CREATING A 4" DEEP SAUCER

APPLY DOWNWARD PRESSURE TO CROSS MEMBER AND CONNECT

TO STAKE WITH 3" WOOD SCREW

SPAN OPEN PIT

REMOVE BURLAP & ROPE

FROM TOP 1/3 OF THE BALL

- 2"x2" UNTREATED CROSS

MEMBER TO A LENGTH TO

TO HOLD TREE IN PLACE

- 2"x2" UNTREATED STAKE TO A DEPTH WITHIN FIRM SUBSOIL

HEIGHT VARIES

(SEE PLANT LIST

ARBORTIF -

3/4" WHITE ¬

OR GRAY

24" LONG

PVC SLEEVE

ROOT BALL

STRAP

_ 2"x2" STAKE

- ARBORTIE

ROOT BALL

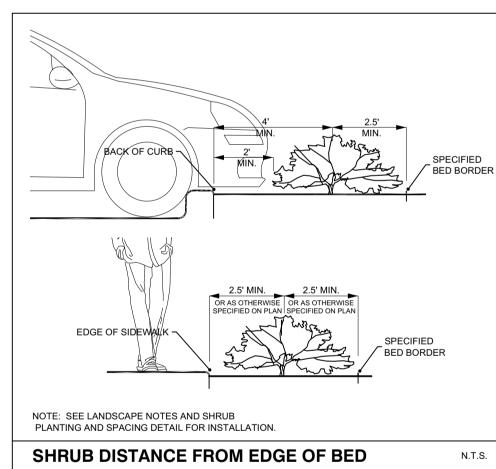
LIMITS OF HOLE

OUTER EDGE

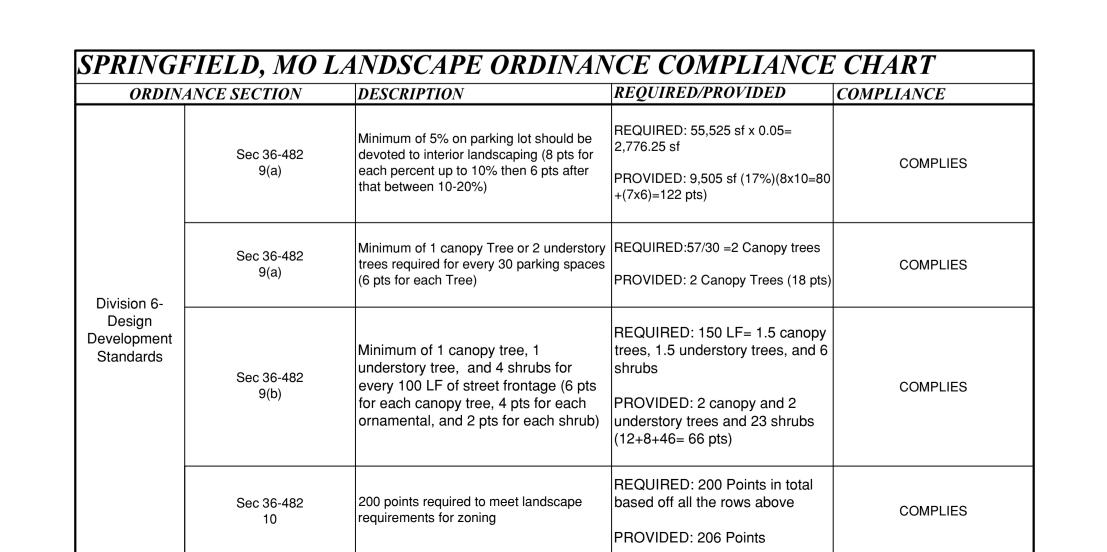
INNER EDGE

EDGE OF SIDEWAL SPECIFIED BED BORDER

SHRUB PLANTING AND SPACING



ROOT	REMARKS	
B&B		
B&B		
ROOT	REMARKS	
B&B	SINGLE STEM	
ROOT	REMARKS	
CONTAINER		
CONTAINER		



EXISTING

BUILDING

BEND STEEL EDGE AT

STAKE IN PLACE WITH

A 90° ANGLE AND

EXPOSED CORNER

ANGLE CUT OF

- CUT EXPOSED EDGE AT AN

CURB OR SIDEWALK

ANGLE 1/2" BELOW TOP OF

N.T.S.

BARK MULCH

EDGE STAKE

CURB OR SIDEWALK

TOP VIEW

TERMINUS OPTION 'B'

SIDE VIEW

. INSTALL STEEL EDGING TO UTILIZE FULL SECTIONS UNLESS CONTROLLED OTHERWISE WITH PLAN

CUT STEEL EDGING AT AN ANGLE TO ACHIEVE A FINISHED STEEL EDGE HEIGHT OF 1/2" BELOW THE

IF STAKING IS NOT AVAILABLE WITHIN 12" OF THE EDGING TERMINATION, INSTALL A SPLICING

. WHERE POSSIBLE, EDGE TERMINATION SHALL BE INSTALLED AS SHOWN IN TERMINUS OPTION 'A'.

EDGING STAKE WITHIN 6" OF THE TERMINATING EDGE AS SHOWN WITH OPTION 'B'

TOP OF

FRONT VIEW

12" STEEL EDGE —

12" STEEL SPLICING -

(SEE NOTE #3 BELOW)

TOP OF ADJACENT HARDSCAPE

STEEL EDGE TERMINATION

EDGING STAKE

SHEET DIMENSIONS.

STEEL

CONC. SIDEWALK

OT 5

ASPHALT

PLANT SCHE	PLANT SCHEDULE							
TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT		REMARKS	
	AR	2	ACER RUBRUM / RED MAPLE	2.5" CAL.	B&B			
	UA	2	ULMUS AMERICANA / AMERICAN ELM	2.5" CAL.	B&B			
UNDERSTORY TREES KEY QTY		QTY	BOTANICAL / COMMON NAME	SIZE	ROOT		REMARKS	
	LI	5	LAGERSTROEMIA INDICA / CRAPE MYRTLE	2.5" CAL.	B&B		SINGLE STEM	
SHRUBS KEY QTY		QTY	BOTANICAL / COMMON NAME	SIZE	ROOT		REMARKS	
\odot	BG	7	BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD	5 GAL.	CONTAINER			

ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY 3 GAL.