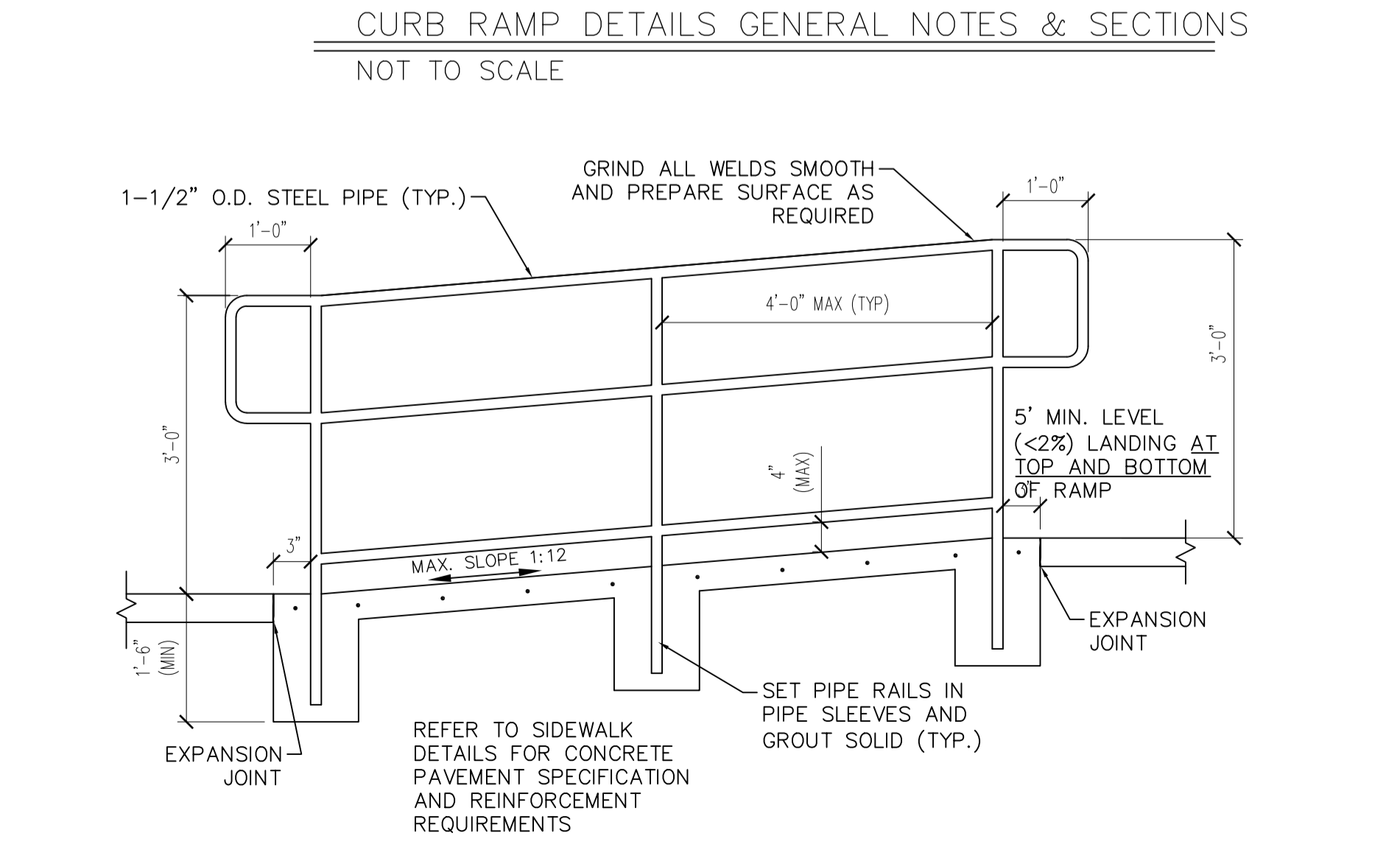
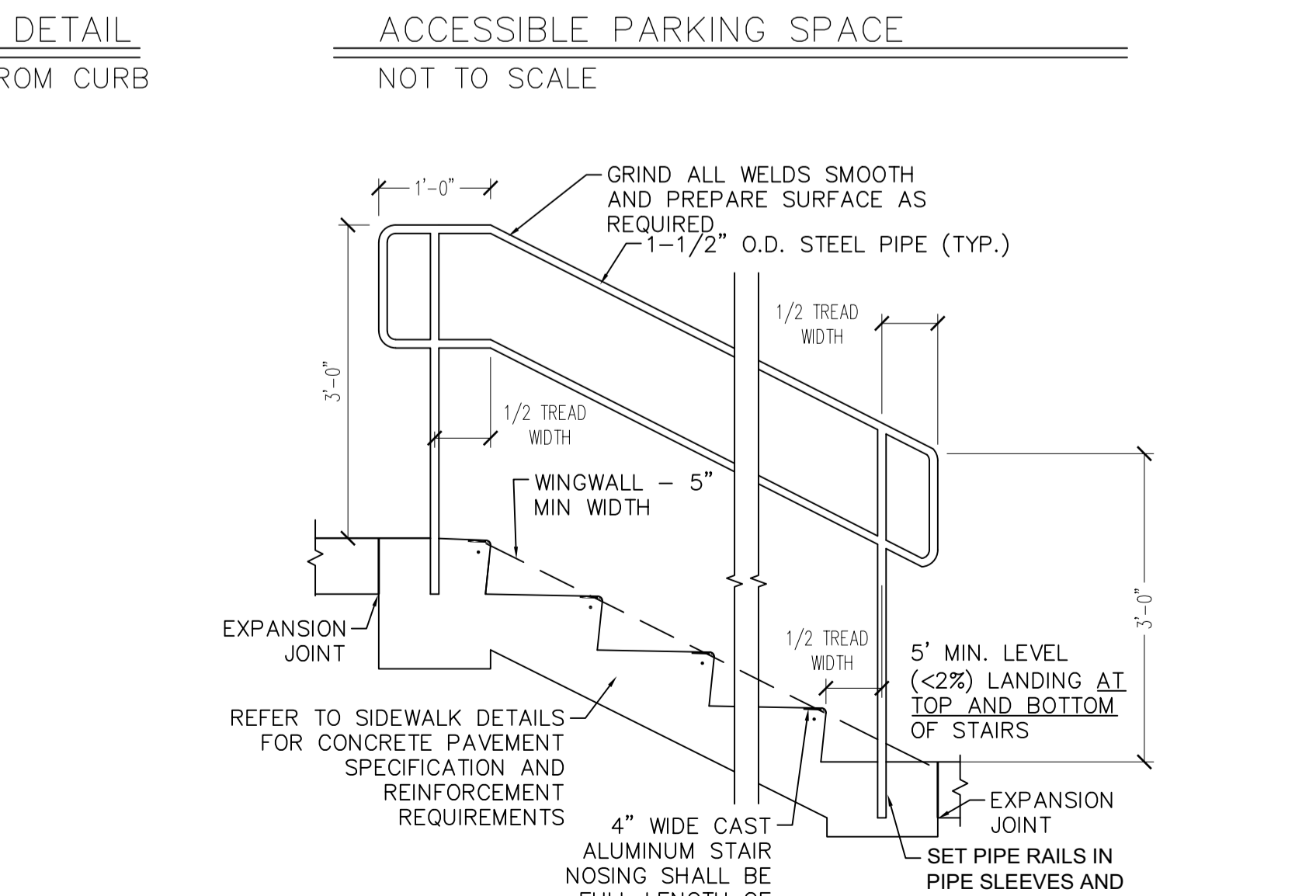
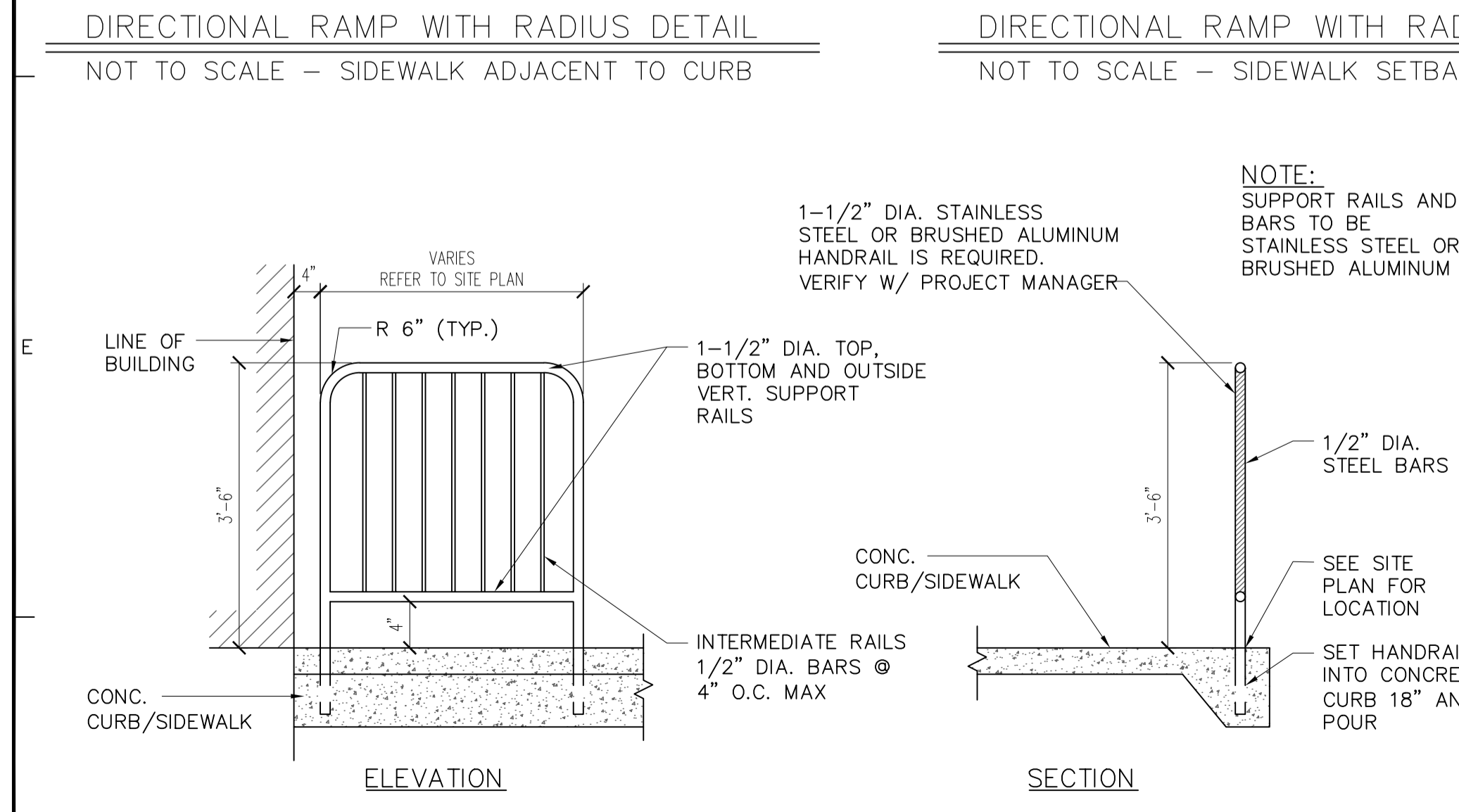
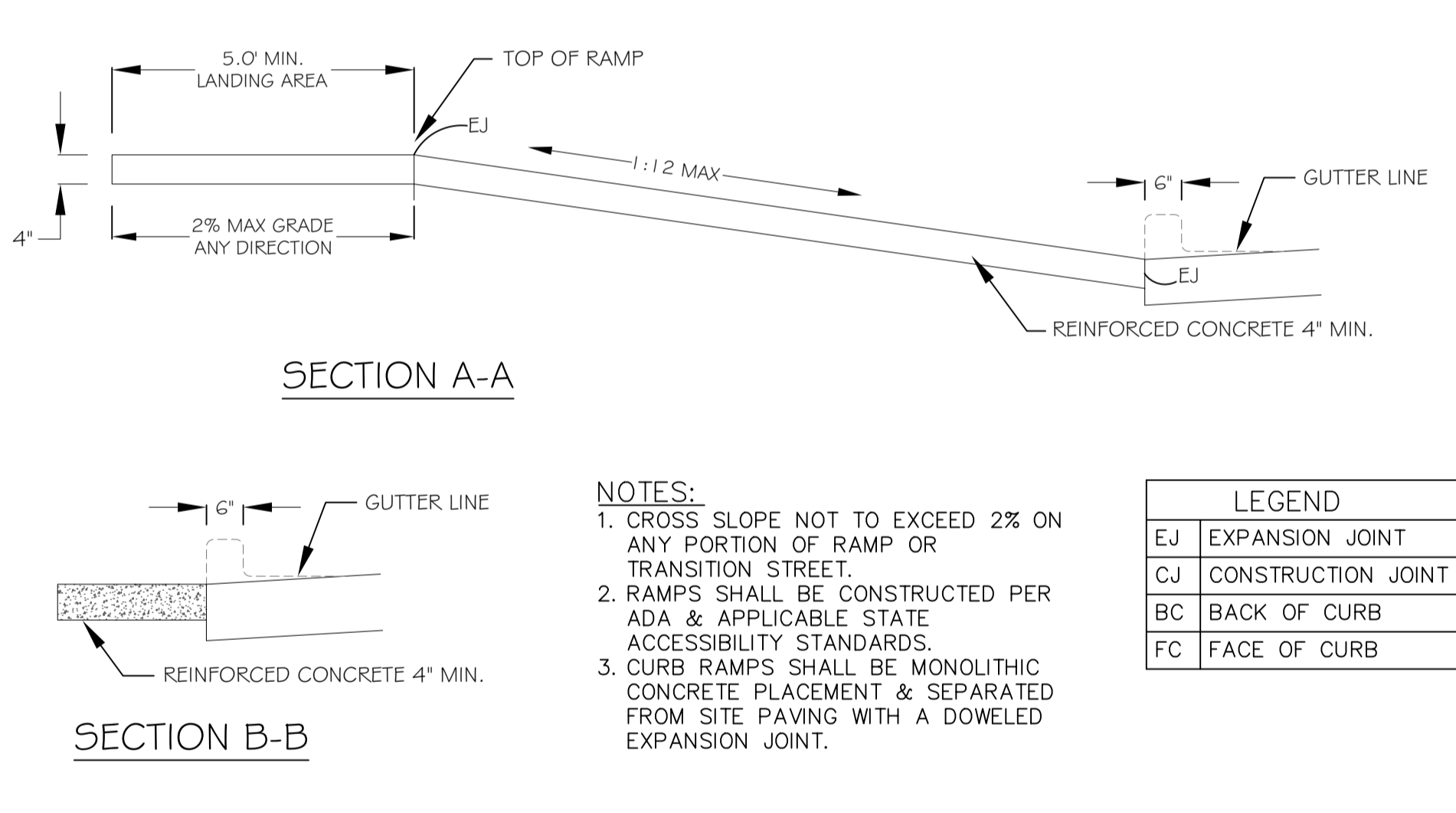
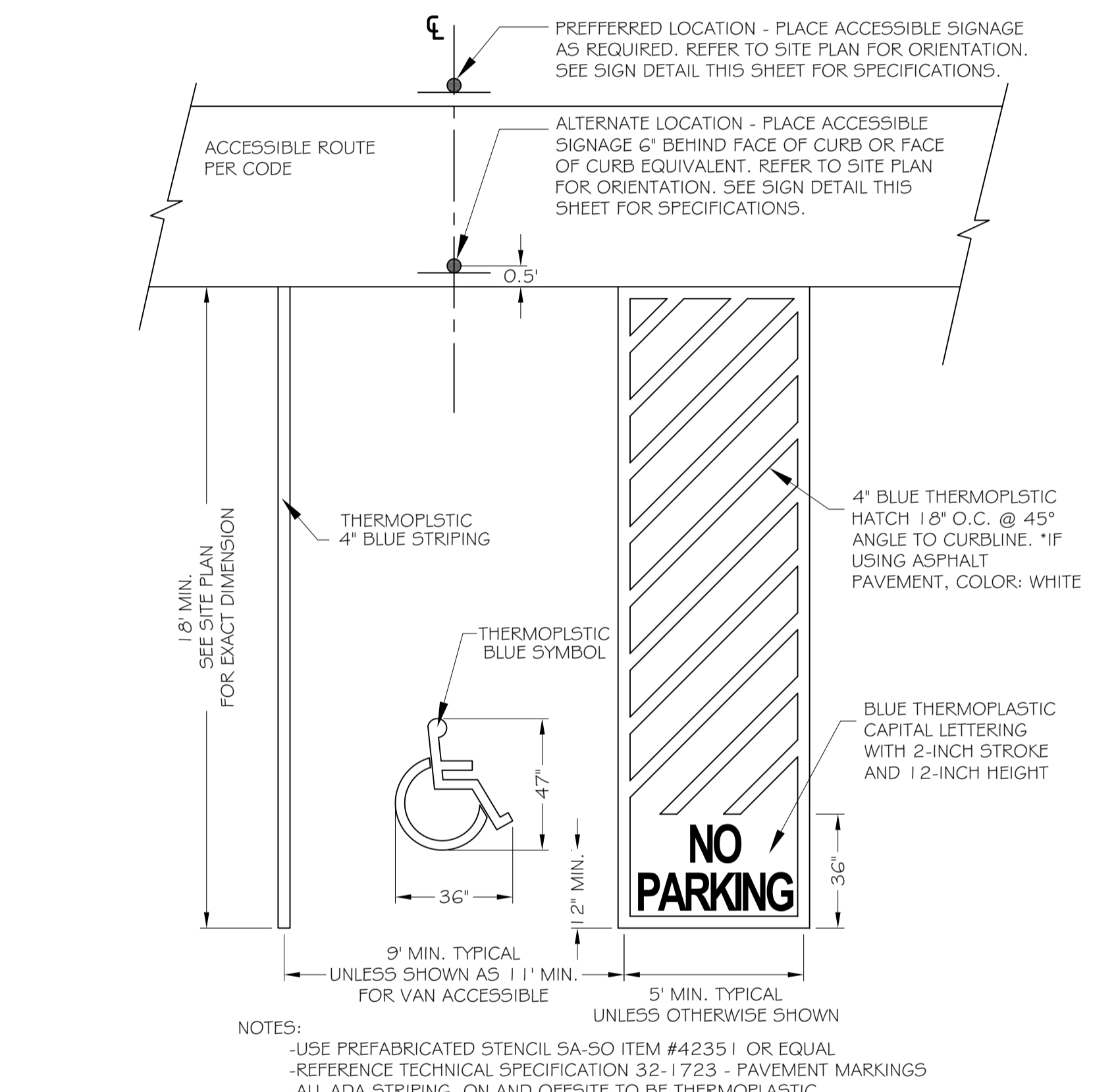
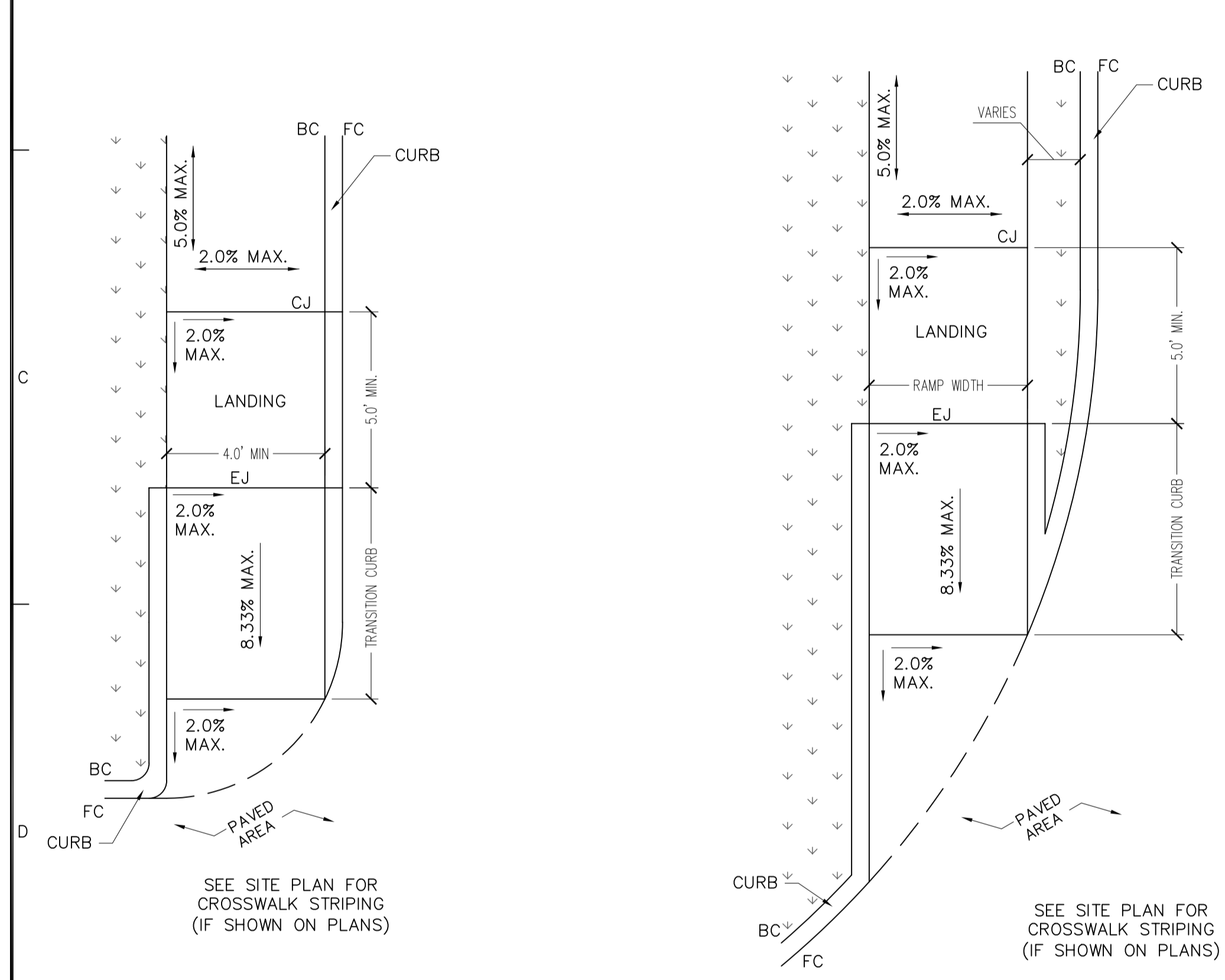
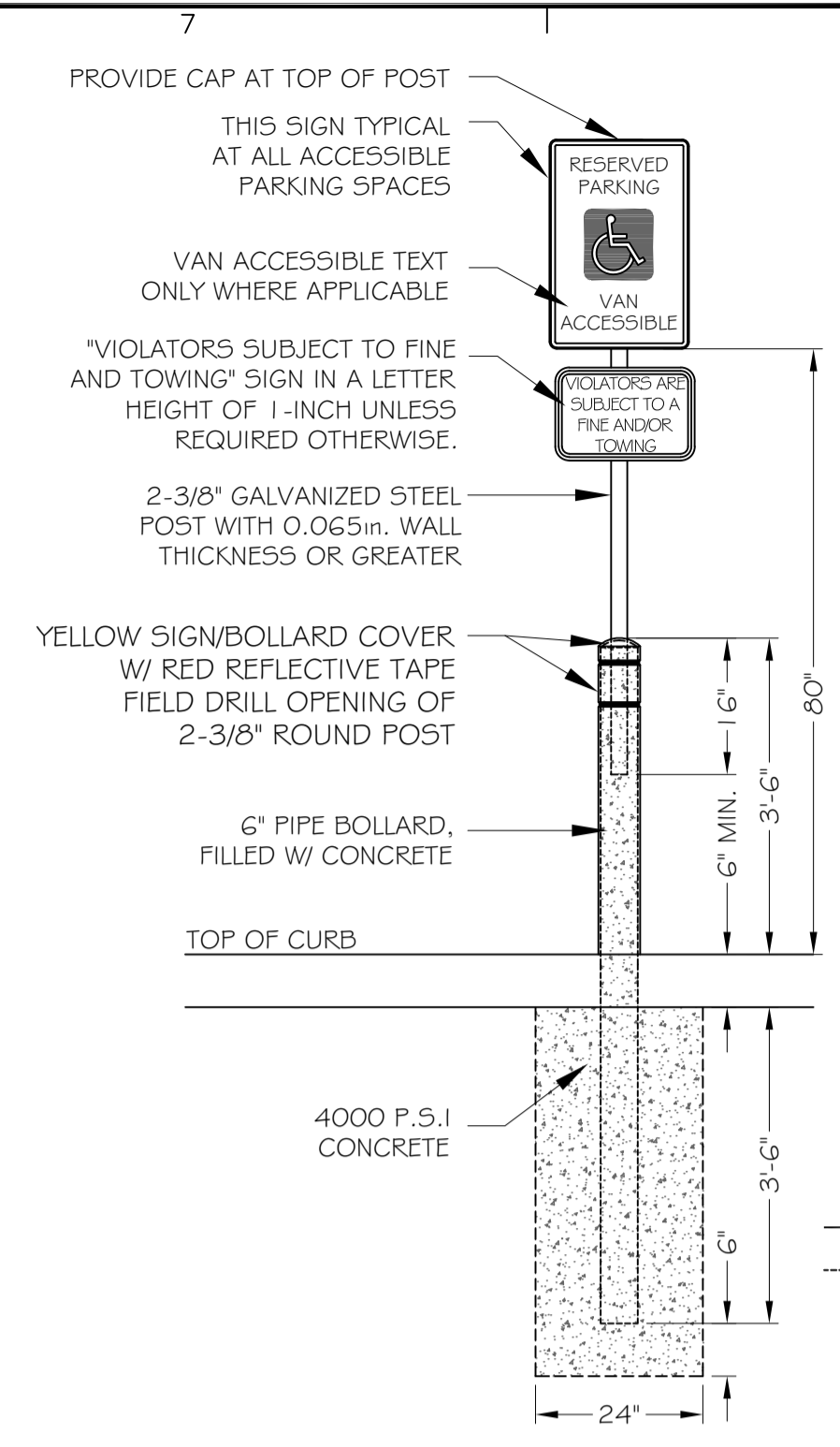
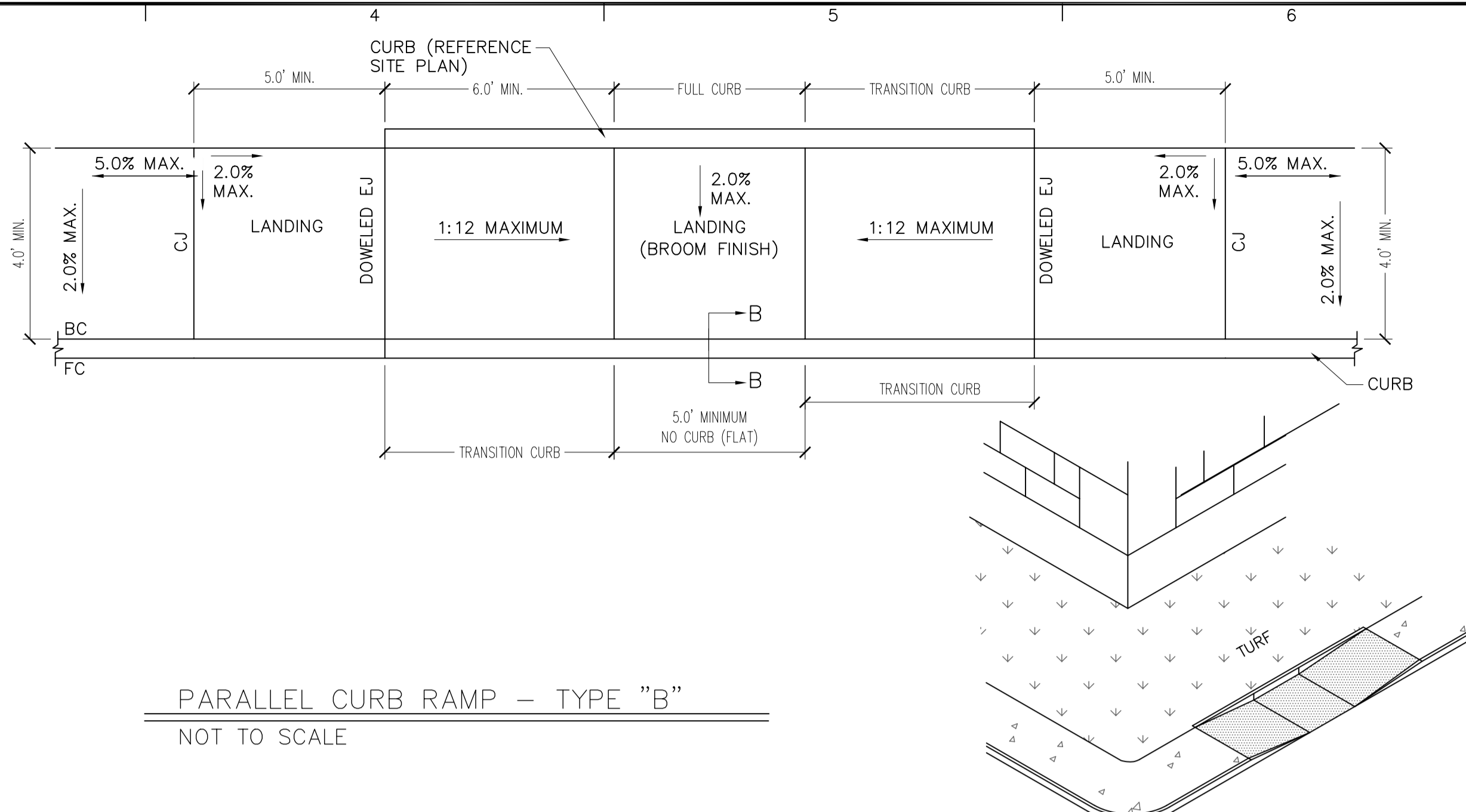
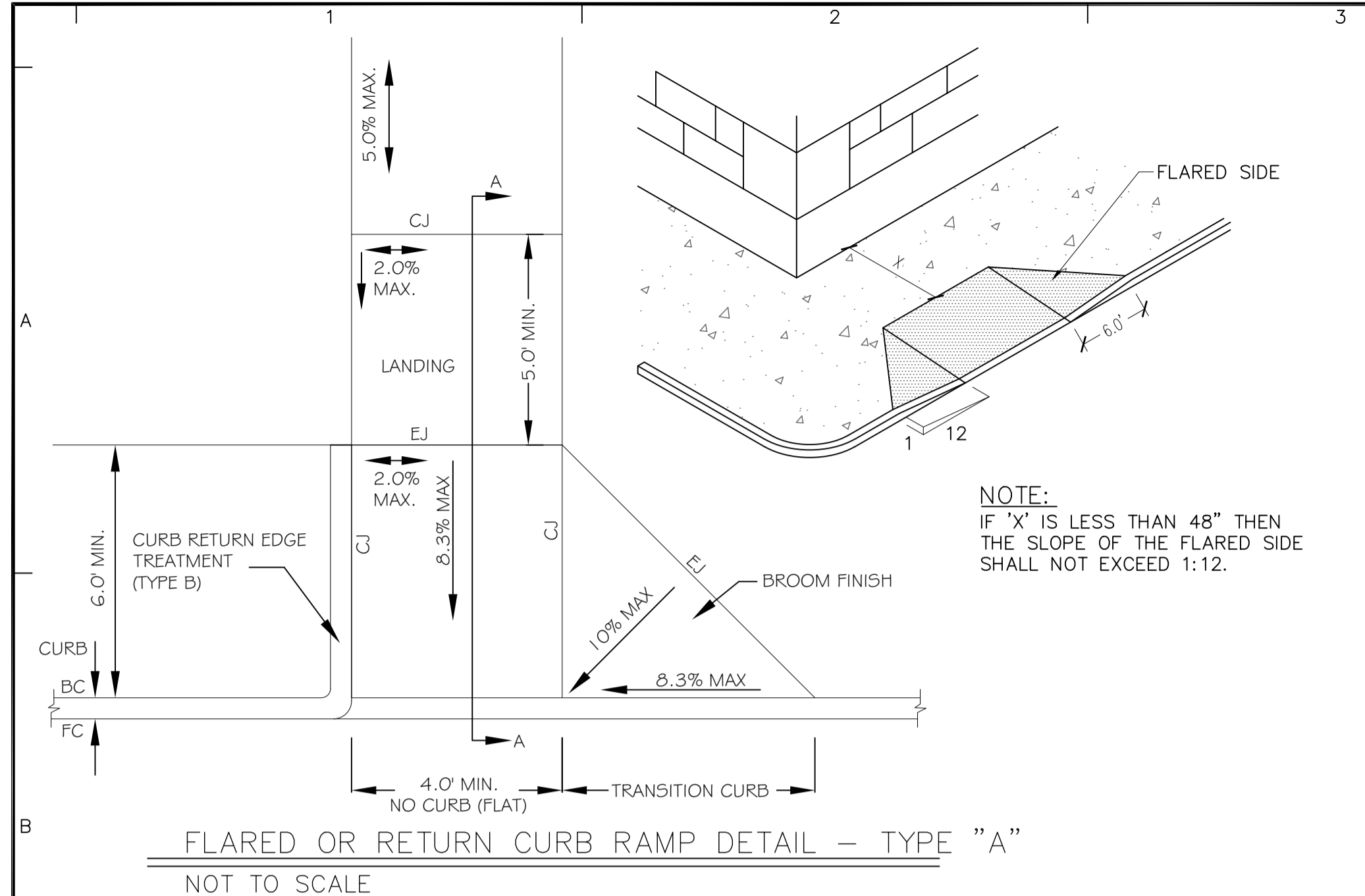


REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT REMOVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

DATE: 01/27/23
 SIGNATURE: [Signature]
 PROJECT NO: PB 12023-00032



Date	Description	No.
Revisions		

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1/26/2023
 MATTHEW DAVID KORTE
 NUMBER PB-2022042426
 STATE OF MISSOURI

LANGAN
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 MO Certificate of Authorization No. F001330220

Project
McDONALD'S NEW PROJECT
L/C 024-1290
3720 WEST SUNSHINE STREET
SPRINGFIELD

GREENE COUNTY MISSOURI
 Drawing Title

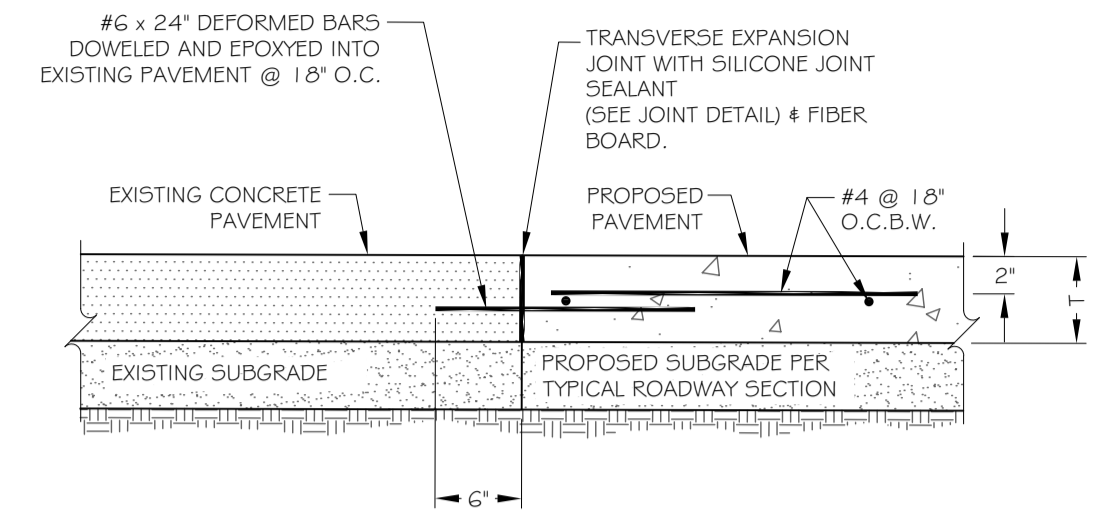
STANDARD DETAILS

Project No.	Drawing No.
520054201	C10.1
Date	DECEMBER 2022
Drawn By	OROD
Checked By	DWL
Sheet 16 of 29	

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

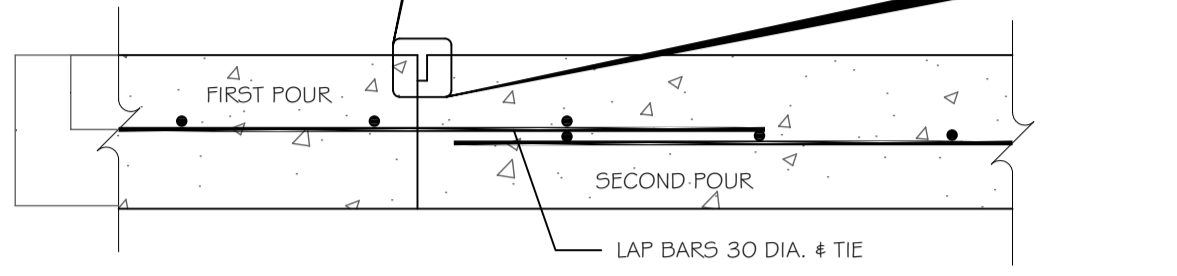
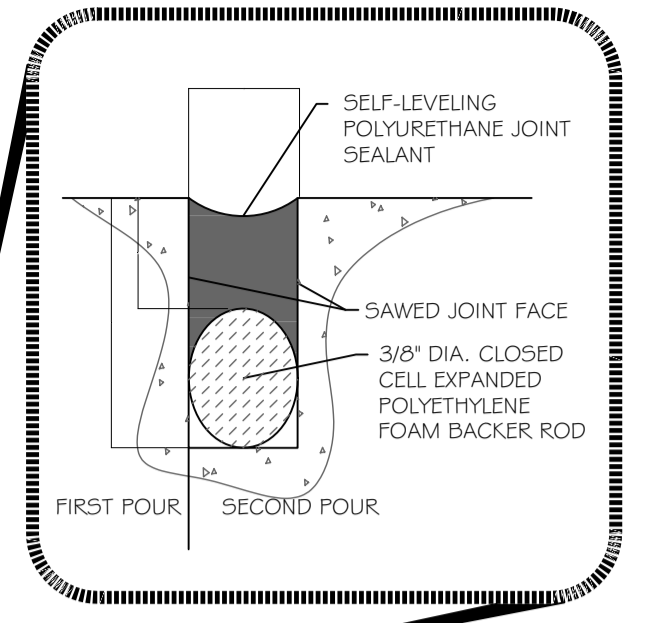
Matthew R. Peirce
DATE 01/27/23
PRJ2023-0032

Project No. 520054201

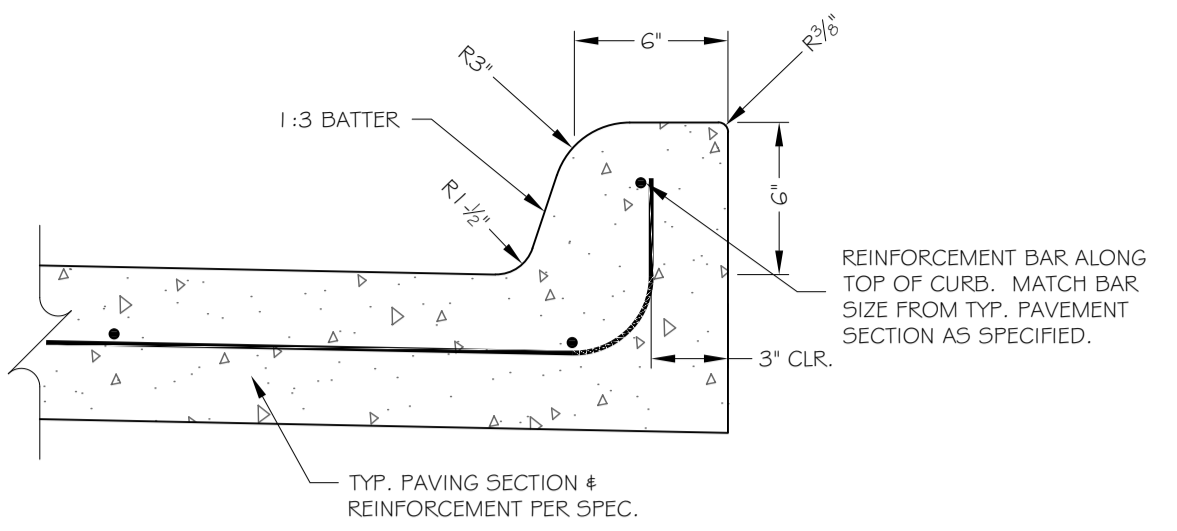


TRANSVERSE EXPANSION JOINT
NOT TO SCALE

NOTES:
1. DEPTH OF JOINT SEALANT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
2. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

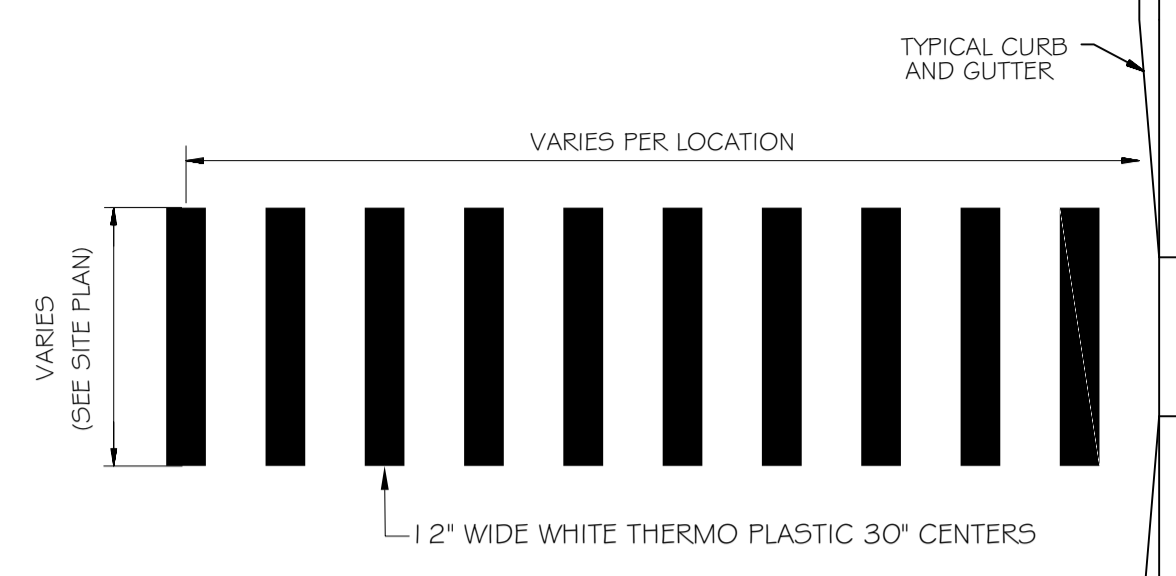


CONSTRUCTION BUTT JOINT
NOT TO SCALE



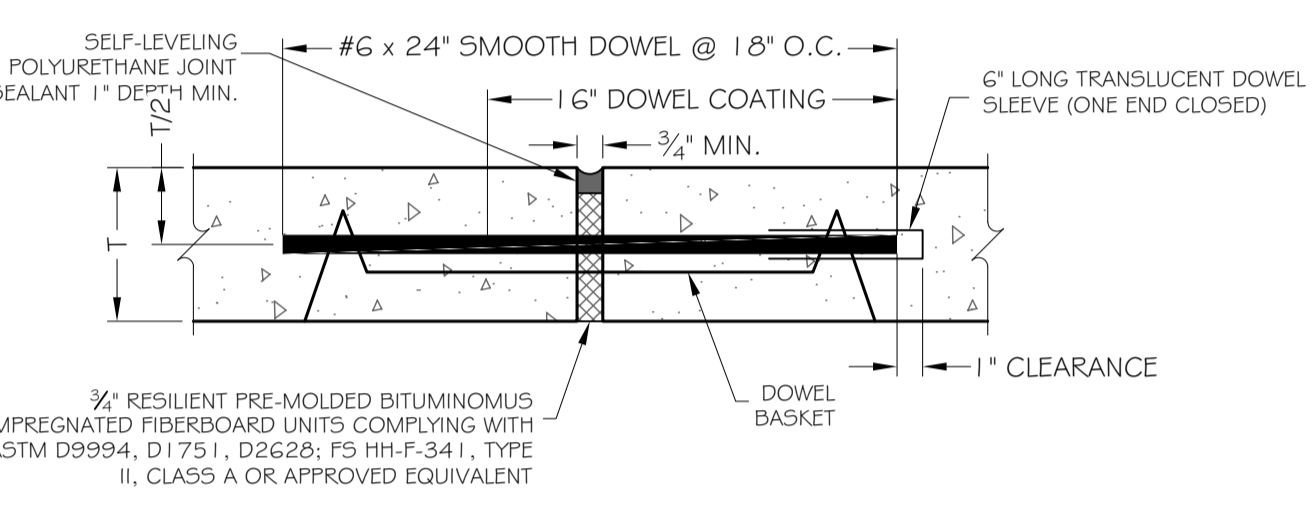
NOTES:
1. ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN.
2. GRADES SHALL BE MEASURED AT BACK OF CURB UNLESS OTHERWISE SPECIFIED.
3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
4. CONTROL JOINTS THROUGH CURB SHALL BE SEALED IN THE PAVEMENT AND TERMINATE AT THE GUTTER.

MONOLITHIC CURB
NOT TO SCALE



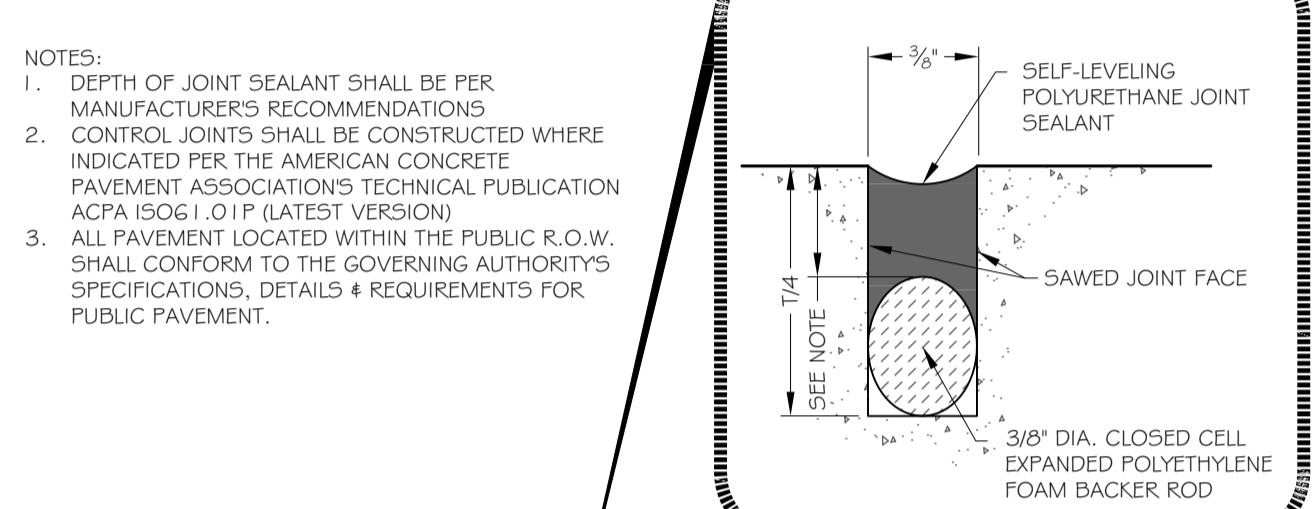
NOTES:
1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN CHAPTER 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

CROSSWALK/PEDESTRIAN CROSSING
N.T.S.



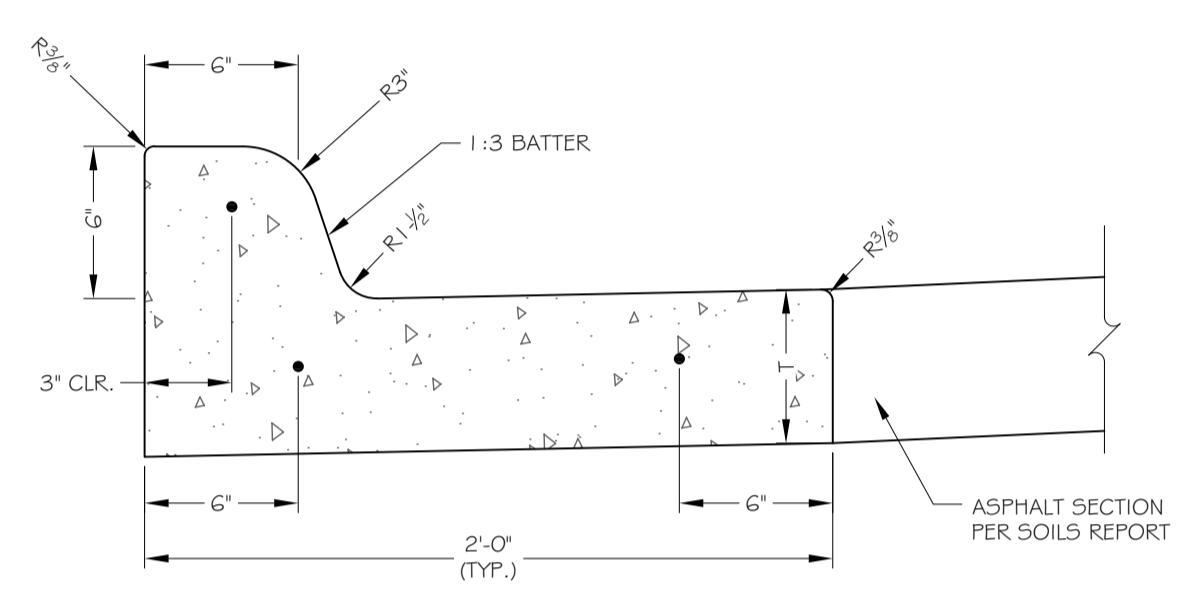
NOTES:
1. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/8" GREATER THAN THE DIAMETER OF THE DOWELS.
2. EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA 1506 (LATEST VERSION).
3. DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT.
4. REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
5. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
6. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".

EXPANSION JOINT (ISOLATION)
NOT TO SCALE



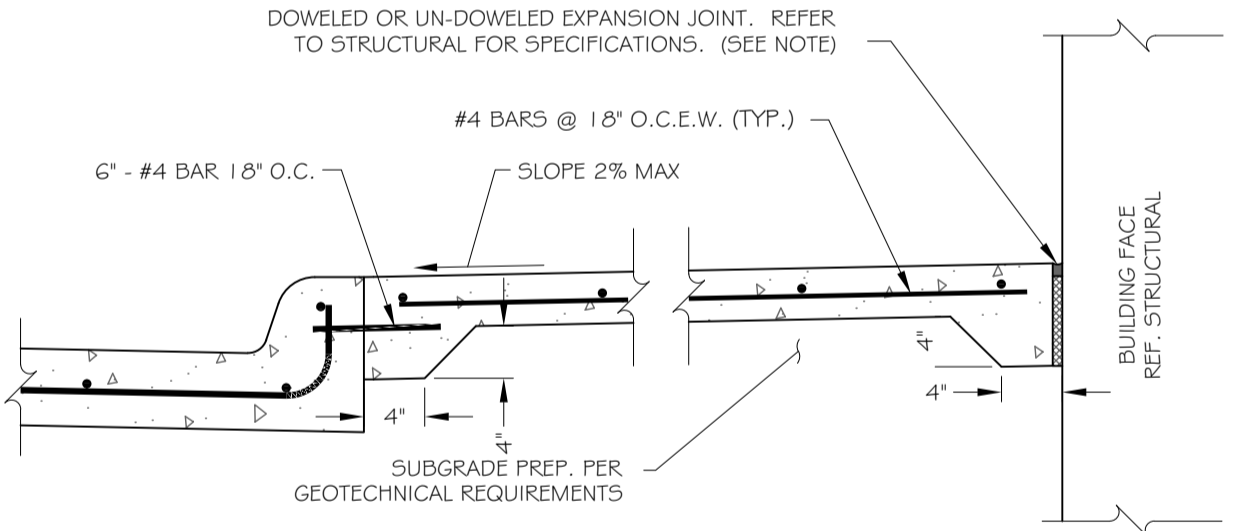
NOTES:
1. DEPTH OF JOINT SEALANT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
2. CONTROL JOINTS SHALL BE CONSTRUCTED WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA 1506 (LATEST VERSION).
3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

CONTROL JOINT (CONTRACTION)
NOT TO SCALE



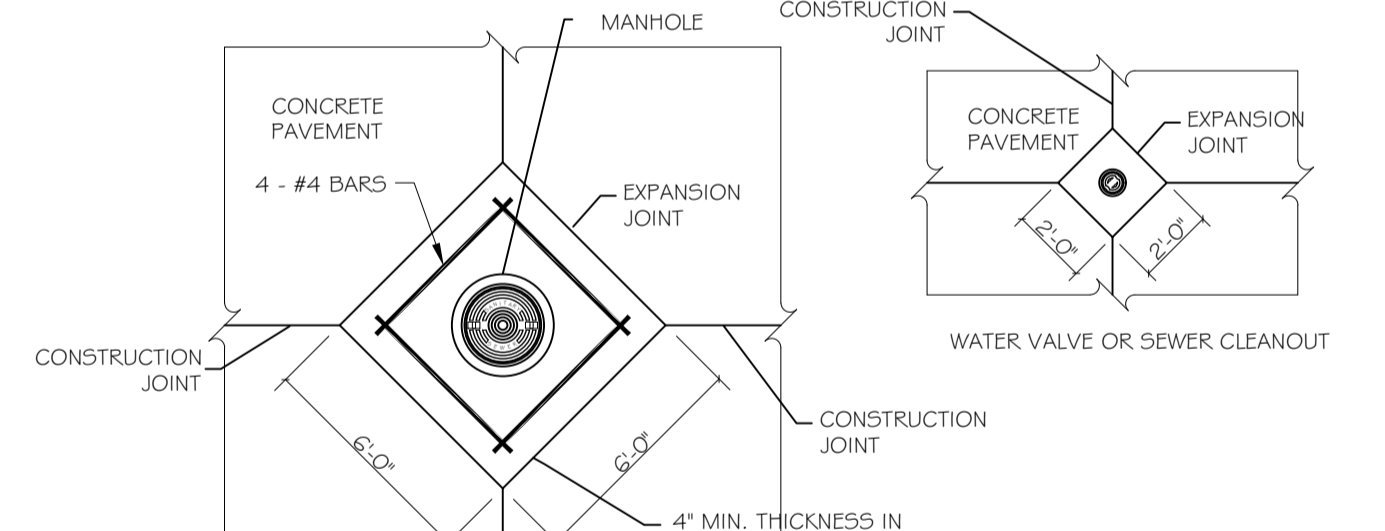
NOTES:
1. REINFORCEMENT BAR SHALL MATCH BAR SIZE FROM TYP. PAVING SECTION AS SPECIFIED.
2. REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS.

SEPARATE CURB & GUTTER
NOT TO SCALE



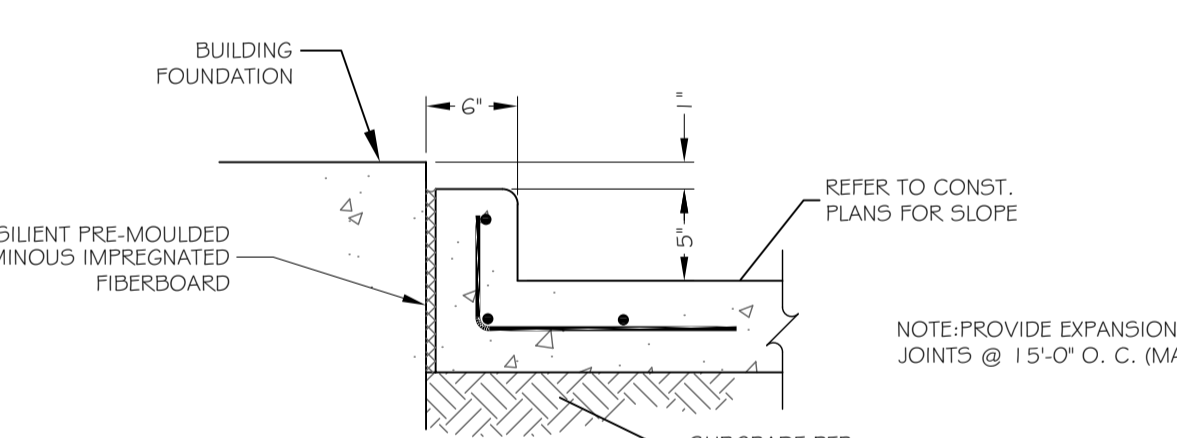
NOTES:
1. ALL SIDEWALK JOINTS LOCATED WITHIN 25' OF A BUILDING FACE OR ADJACENT TO ANY STRUCTURE SHALL BE SEALED.
2. REFER TO STRUCTURAL PLANS/DETAILS FOR DOWELING/JOINTS AT ALL CONNECTIONS BETWEEN FOUNDATIONS/STOOPS AND FLATWORK.
3. THE SUBGRADE PREPARATION FOR ANY FLATWORK OR SIDEWALK PAVEMENT WITHIN 25' FROM ANY BUILDING FACE OR ADJACENT TO ANY STRUCTURE SHALL AS SPECIFIED BY THE GEOTECHNICAL REPORT. IN THE EVENT THAT THE GEOTECHNICAL REPORT DOES NOT CONTAIN A RECOMMENDATION THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
5. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".

SIDEWALK/BUILDING INTERFACE
NOT TO SCALE

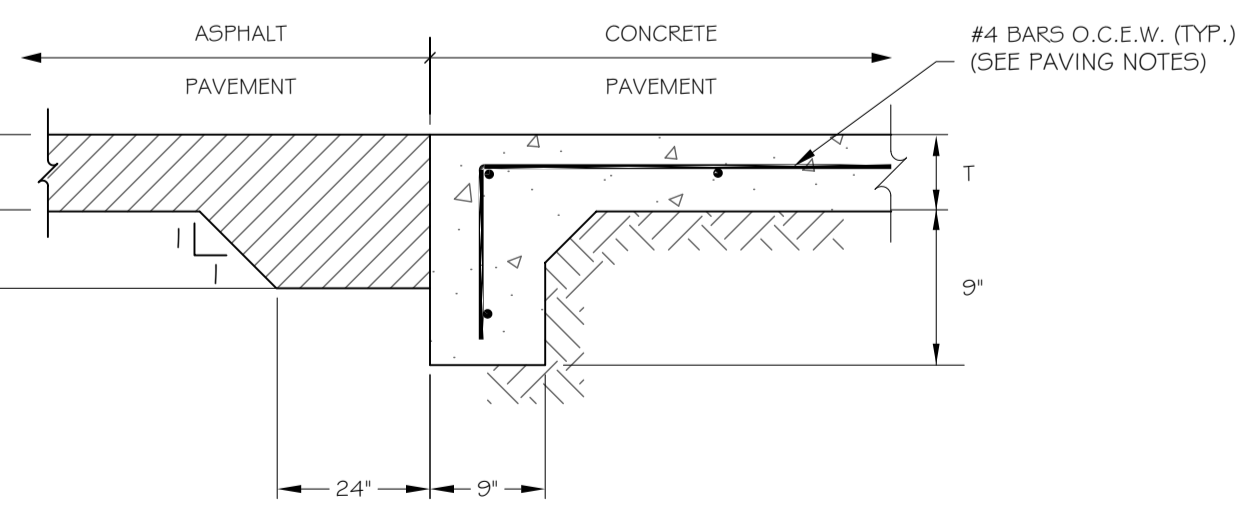


NOTES:
1. ALL ASPHALT PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES.
2. BOXOUT REQUIRED FOR ALL MANHOLES (STORM AND SANITARY) AND CLEANOUTS LOCATED IN FCC PAVEMENT.
3. MANHOLE BOXOUT SHALL BE 6'x6' SQUARE AND ALIGNED WITH PAVEMENT JOINTING.
4. WATER VALVE & SANITARY CLEANOUTS SHALL BE PLACED IN BOXOUTS 2'x2' SQUARE ALIGNED WITH PAVEMENT JOINTING.
5. MANHOLES OR VALVES LOCATED IN LANDSCAPE AREAS SHALL INCLUDE 4' MIN. CONCRETE COLLAR TO THE DIMENSIONS INDICATED ABOVE AND SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
6. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

MANHOLE/VALVE/CLEANOUT/LIGHT POLE JOINTING
NOT TO SCALE

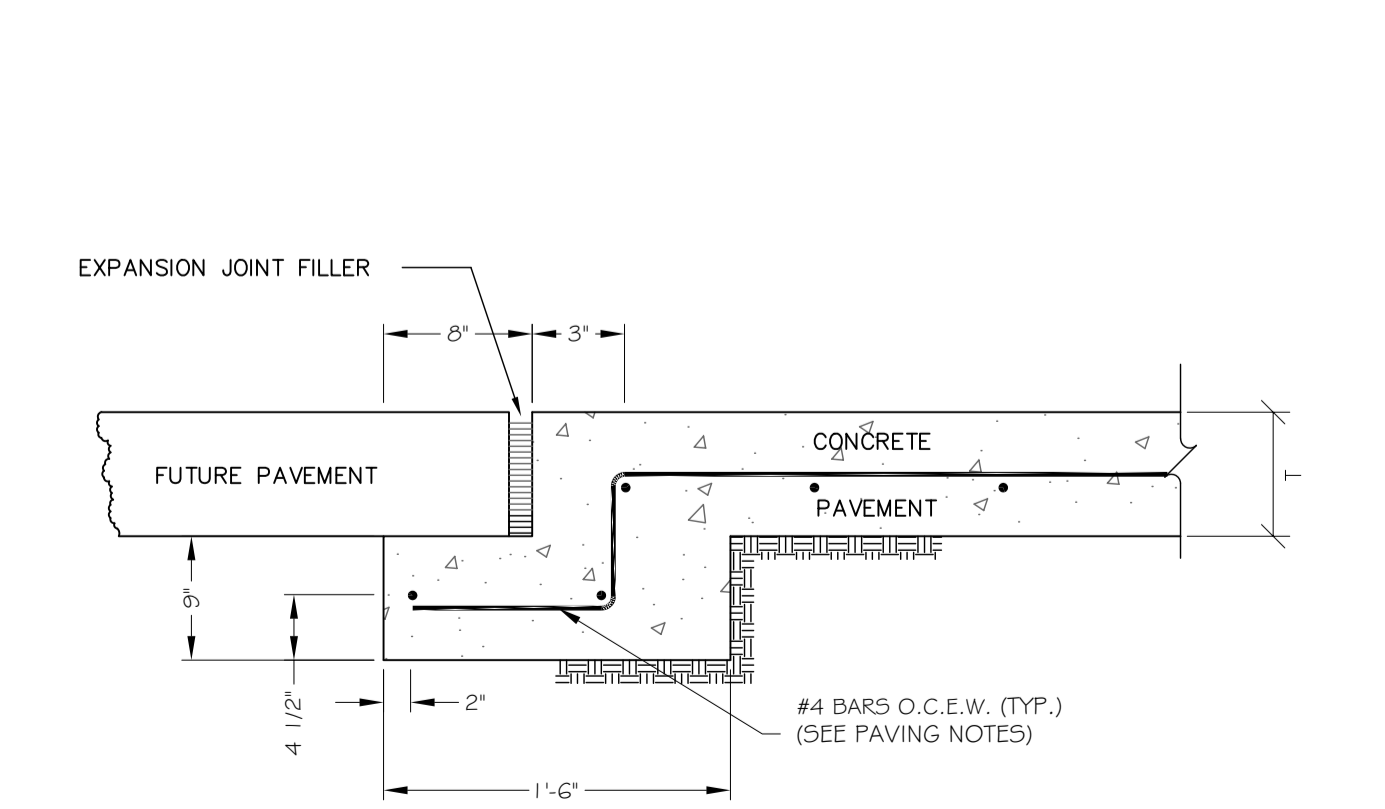


VERTICAL CURB @ DRIVE THRU
NOT TO SCALE

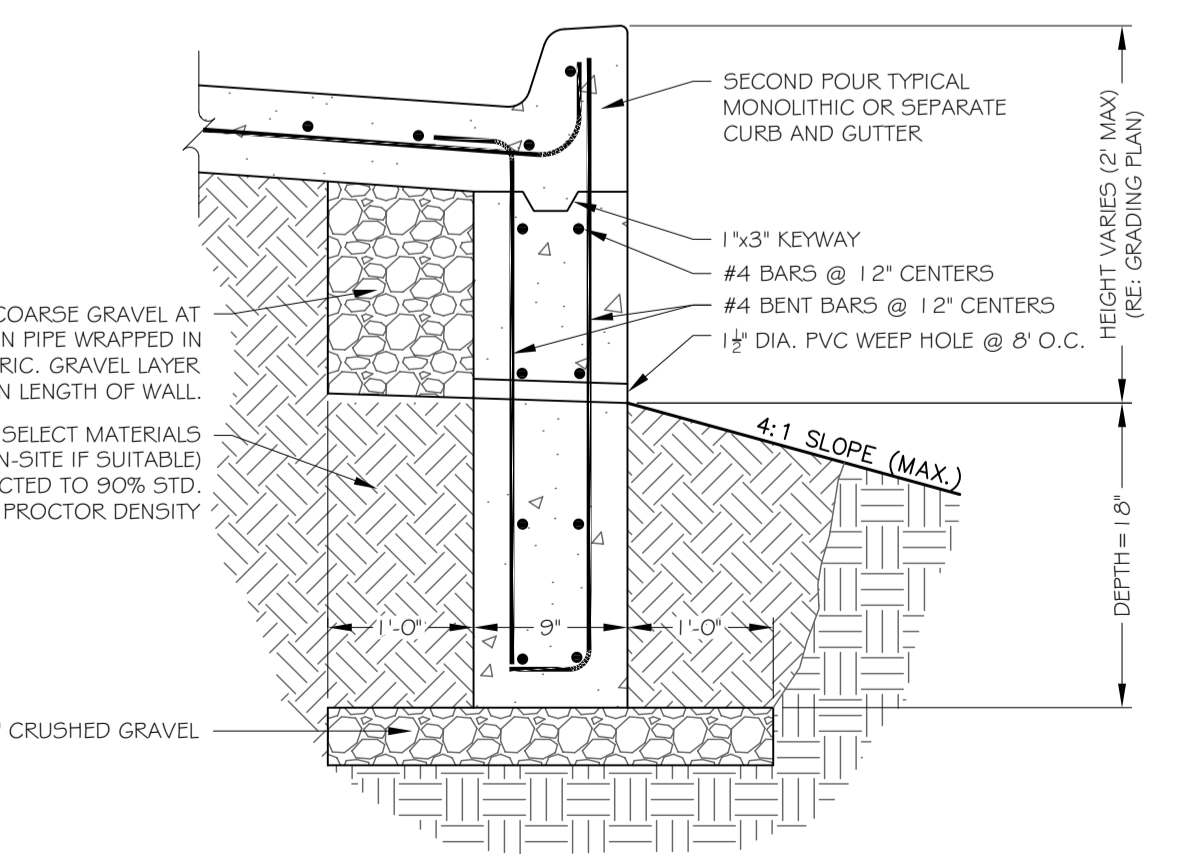


NOTES:
1. PAVEMENT BARS SHALL BE BENT DOWN INTO HEADER.
2. HEADER AND PAVEMENT SHALL BE MONOLITHIC.
3. REINFORCEMENT STEEL SHALL BE PER PAVEMENT SECTION SPECIFICATIONS.
4. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
5. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".
6. SUBGRADE PREPARATION SHALL BE PER GEOTECHNICAL REPORT SPECIFICATIONS.

ASPHALT TO CONCRETE HEADER
NOT TO SCALE

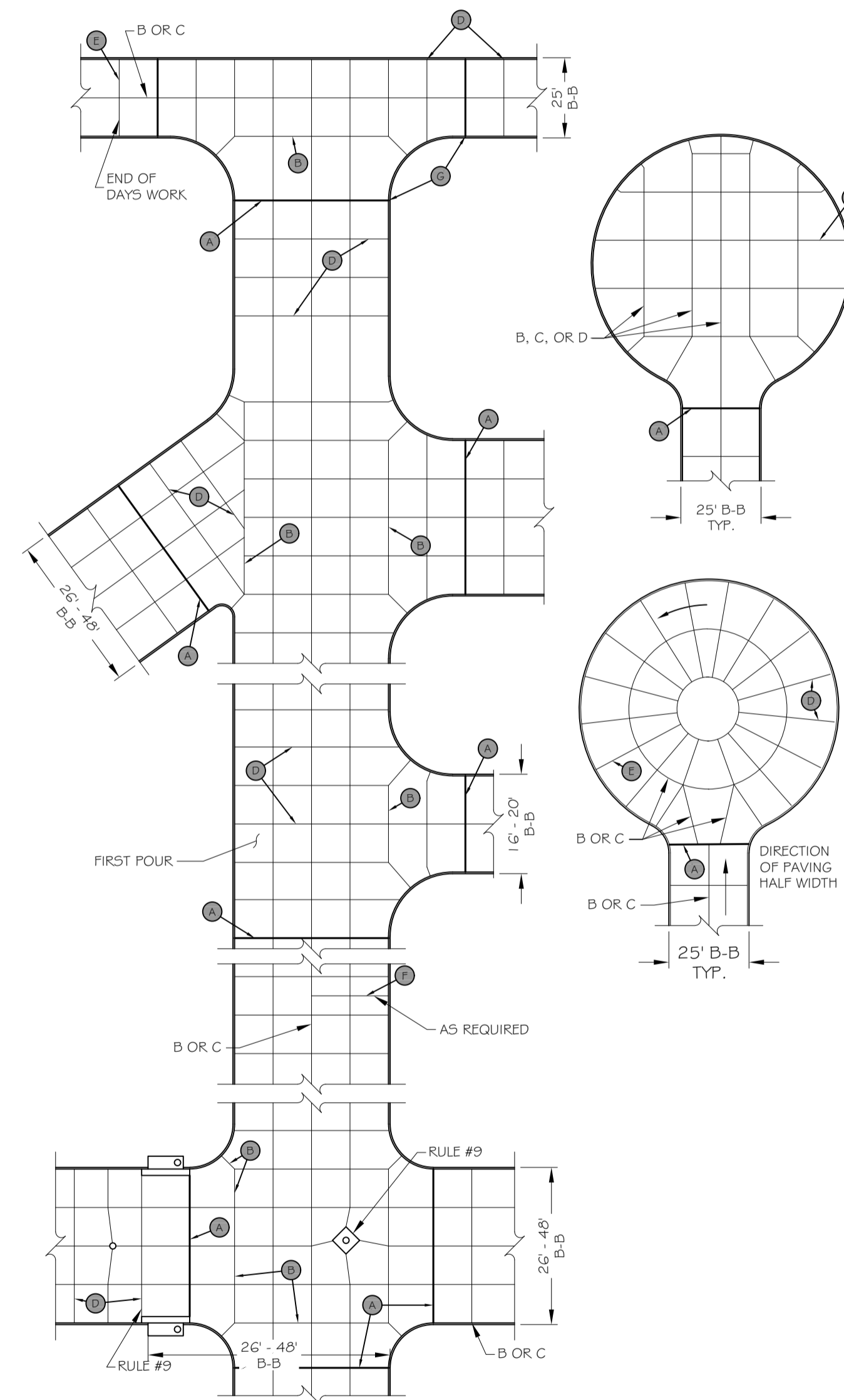


STREET HEADER FOR FUTURE PAVEMENT
NOT TO SCALE



NOTES:
1. REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS.
2. REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60.
3. BACKFILLING AGAINST REINFORCED DEEPEMED CURB SHALL NOT BE PERMITTED UNTIL CONCRETE HAS REACHED ITS 28 DAY STRENGTH. CARE SHALL BE TAKEN TO AVOID EXERTING LARGE IMPACT FORCES ON THE DEEPEMED CURB.

DEEPEMED CURB
NOT TO SCALE



KEY NOTES:
A. EXPANSION JOINT (ISOLATION)
B. LONGITUDINAL CONSTRUCTION JOINT
C. LONGITUDINAL CONTRACTION JOINT
D. TRANSVERSE CONTRACTION JOINT
E. PLANNED TRANSVERSE CONSTRUCTION JOINT
F. EMERGENCY TRANSVERSE CONSTRUCTION JOINT
G. PLACE 1/2" EXPANSION JOINT FILLER IN TOP OF CURB ONLY AT ALL RADIUS POINTS

RULES:
1. AVOID ODD-SHAPED SLABS.
2. MAXIMUM TRANSVERSE JOINT SPACING FOR PAVEMENT SHOULD EITHER BE 24 TO 30 TIMES THE SLAB THICKNESS OR 15ft.
3. LONGITUDINAL JOINT SPACING SHOULD NOT EXCEED 12.5ft.
4. KEEP SLABS AS SQUARE AS POSSIBLE. LONG NARROW SLABS TEND TO CRACK MORE THAN SQUARE ONES.
5. ALL TRANSVERSE CONTRACTION JOINTS MUST BE CONTINUOUS THROUGH THE CURB AND HAVE A DEPTH EQUAL TO 1/2 THE PAVEMENT THICKNESS.
6. IN ISOLATION JOINTS, THE FILLER MUST BE FULL DEPTH AND EXTEND THROUGH THE CURB.
7. IF THERE IS NO CURB, LONGITUDINAL JOINTS SHOULD BE TIED WITH DEFORMED BARS.
8. OFFSETS AT RADIUS POINTS SHOULD BE AT LEAST 1.5ft WIDE. JOINT INTERSECTION ANGLES LESS THAN 60° SHOULD BE AVOIDED.
9. MINOR ADJUSTMENTS IN JOINT LOCATION MADE BY SHIFTING OF SKEWING TO MEET INLETS AND MANHOLES WILL IMPROVE PAVEMENT PERFORMANCE.
10. WHEN THE PAVEMENT AREA HAS DRAINAGE STRUCTURES, PLACE JOINTS TO MEET THE STRUCTURES IF POSSIBLE.

TYPICAL JOINTING LAYOUT
NOT TO SCALE

Date	Description	No.
Revisions		

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STATE OF MISSOURI
MATTHEW DAVID KORTE
NUMBER PE-2022042436
1/26/2023

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MO Certificate of Authorization No. F001330220

Project
McDONALD'S NEW PROJECT
L/C 024-1290
3720 WEST SUNSHINE STREET
SPRINGFIELD

GREENE COUNTY MISSOURI
Drawing Title

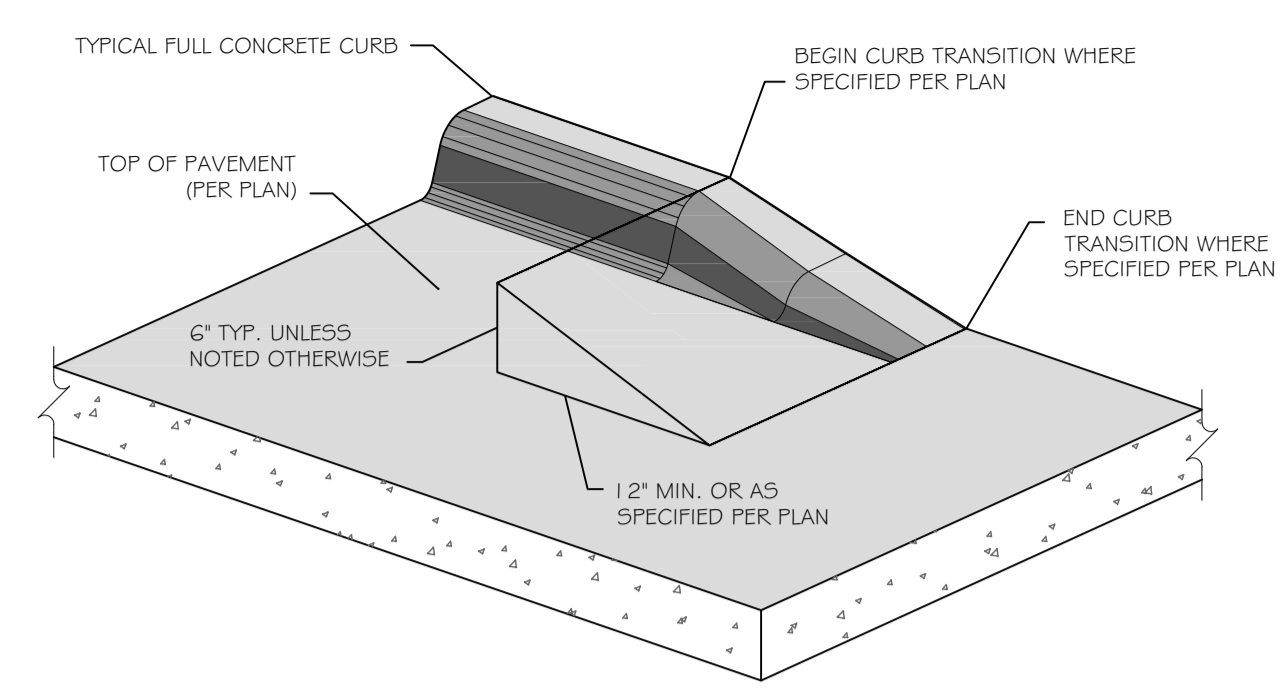
STANDARD DETAILS

Project No. 520054201	Drawing No. C10.2
Date DECEMBER 2022	
Drawn By OROD	
Checked By DWL	
Sheet 17 of 29	

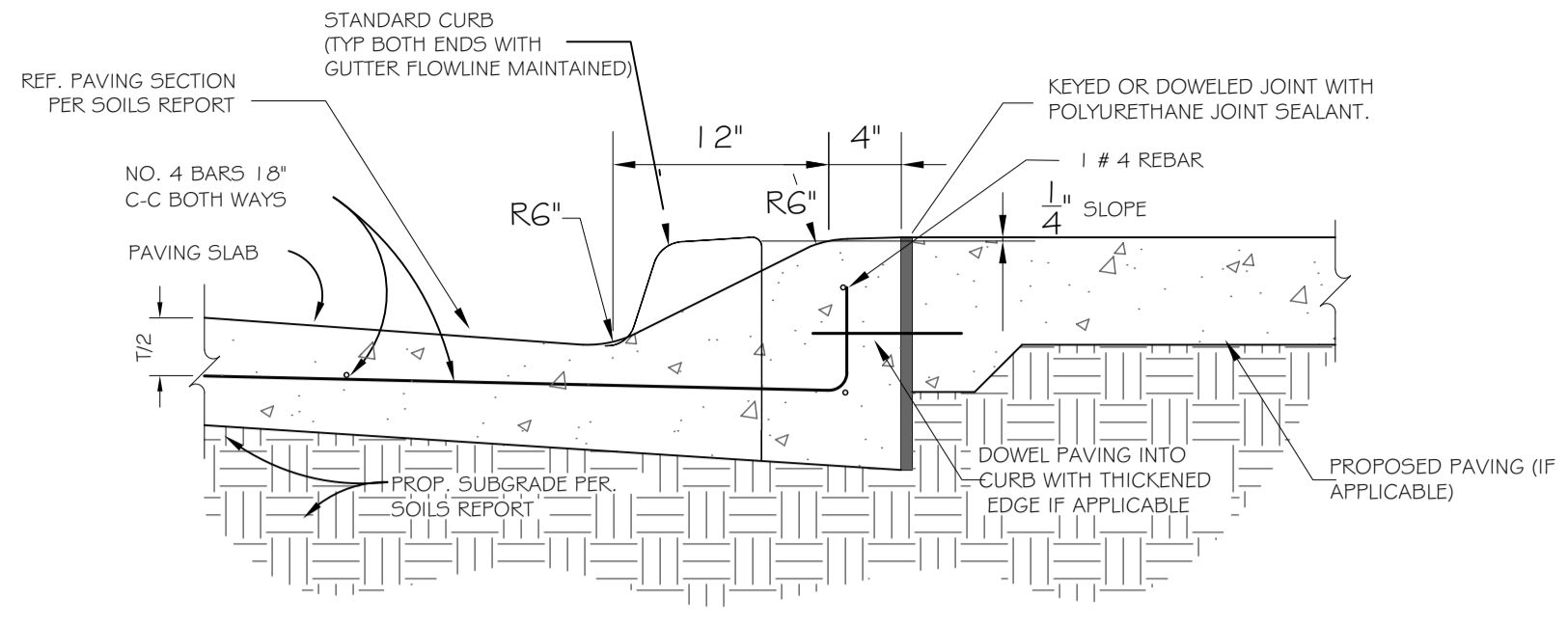
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Signature: *Kevin R. Peirce* DATE: 01/27/23
PRJ2023-00032

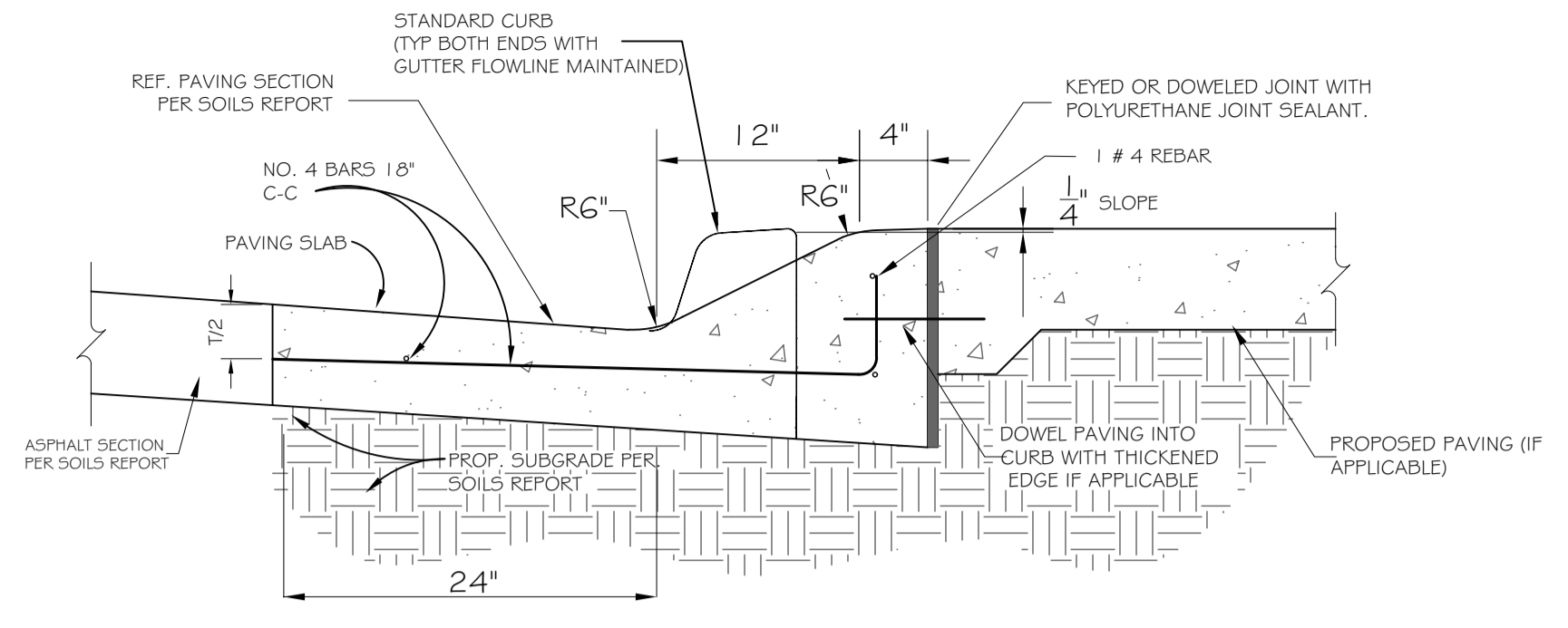
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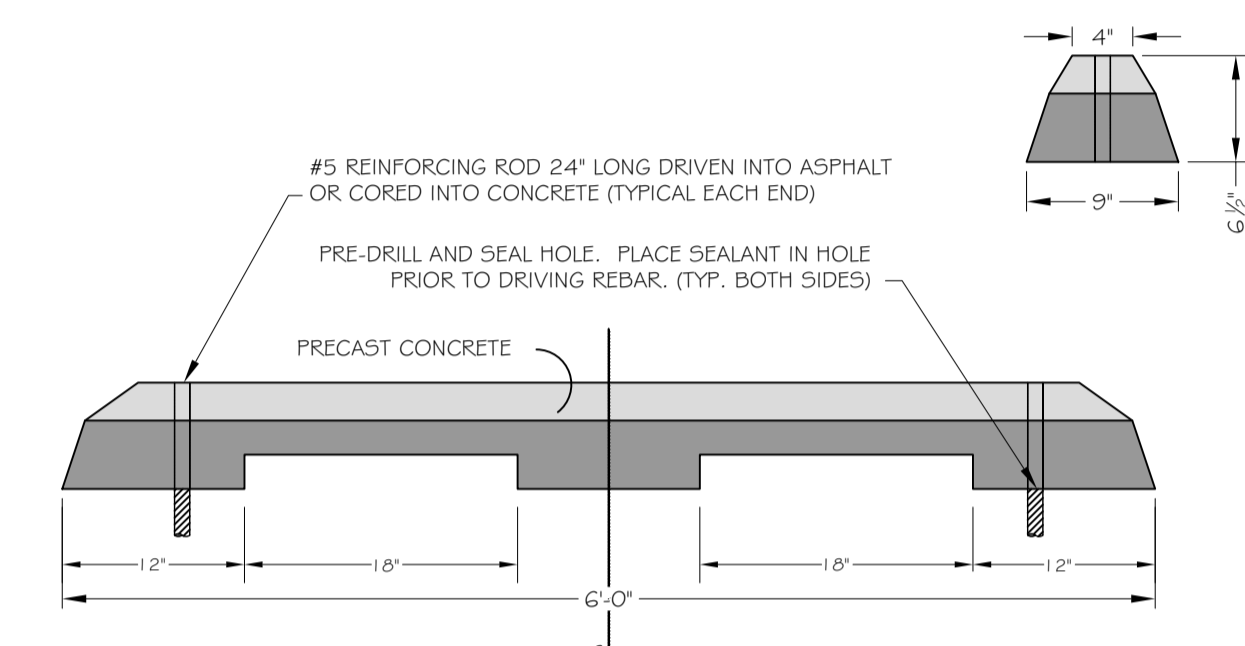
TURN DOWN CURB
NOT TO SCALE



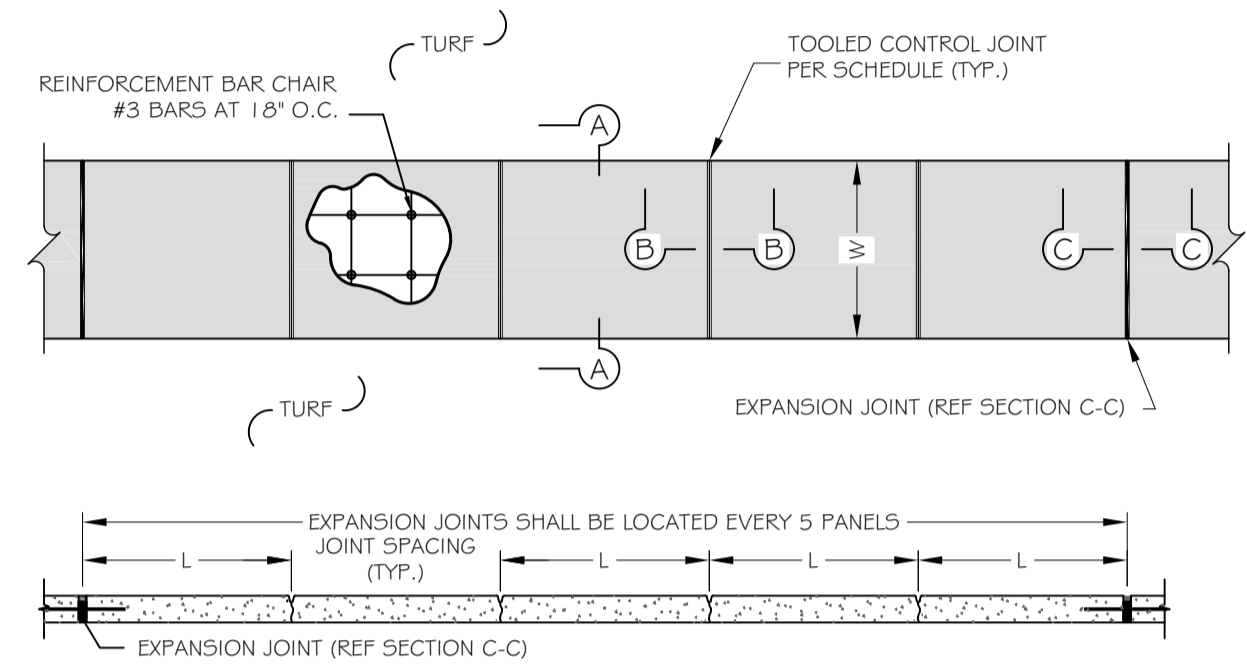
MONOLITHIC MOUNTABLE CURB
NOT TO SCALE



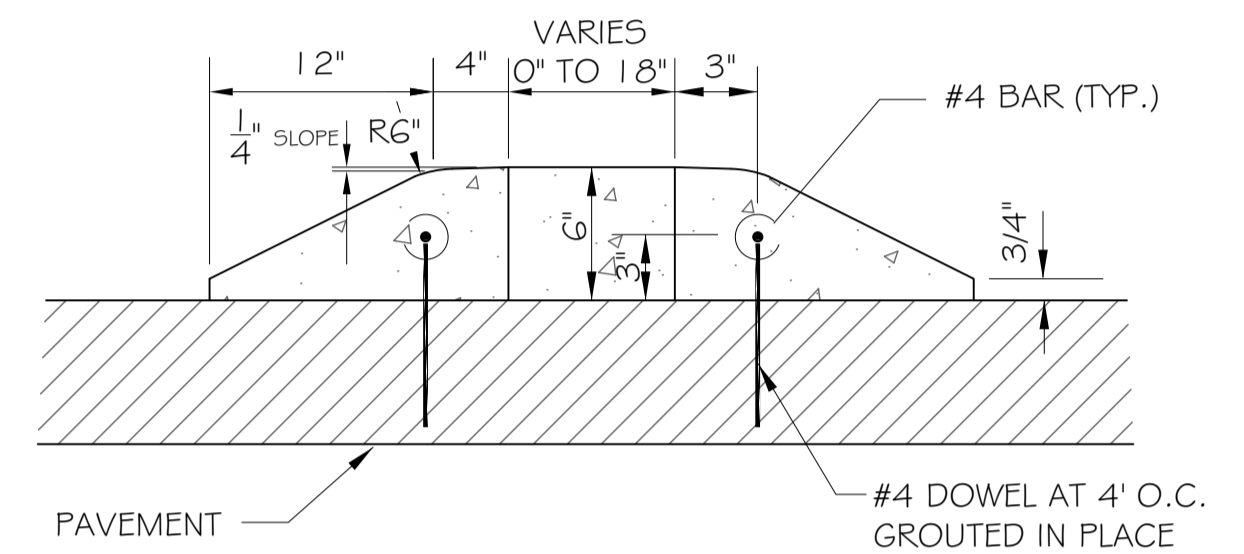
SEPARATE MOUNTABLE CURB & GUTTER
NOT TO SCALE



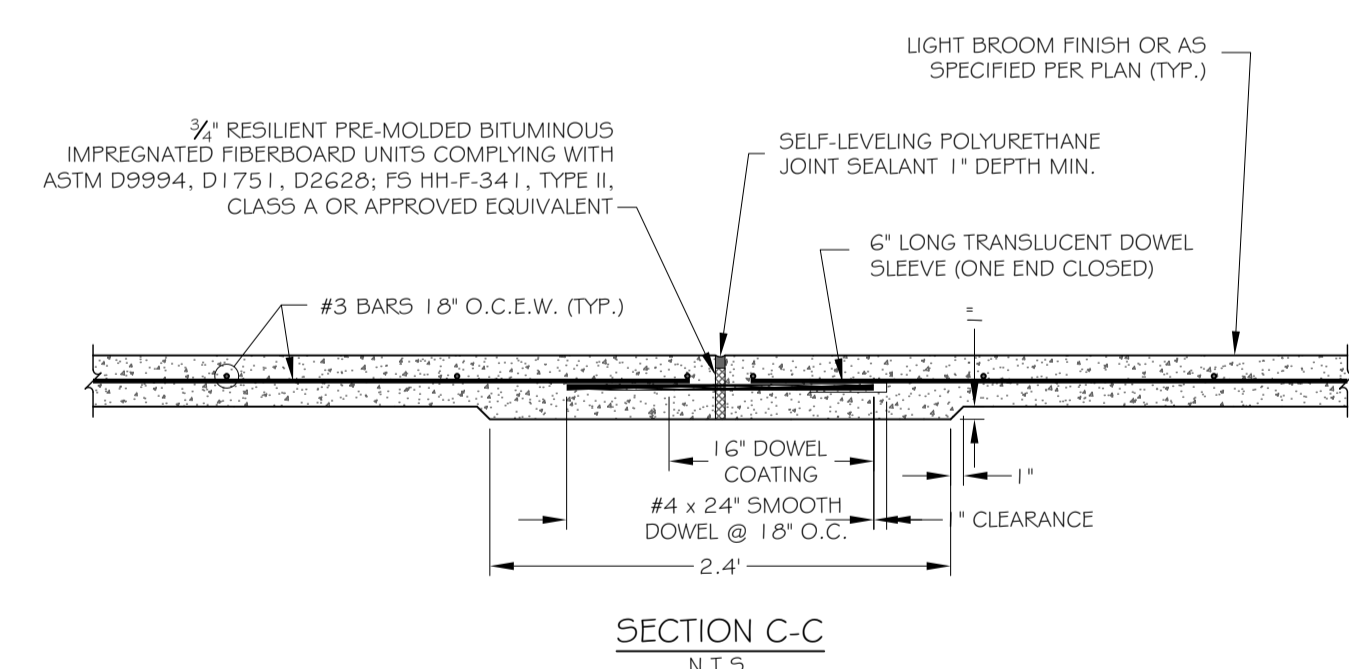
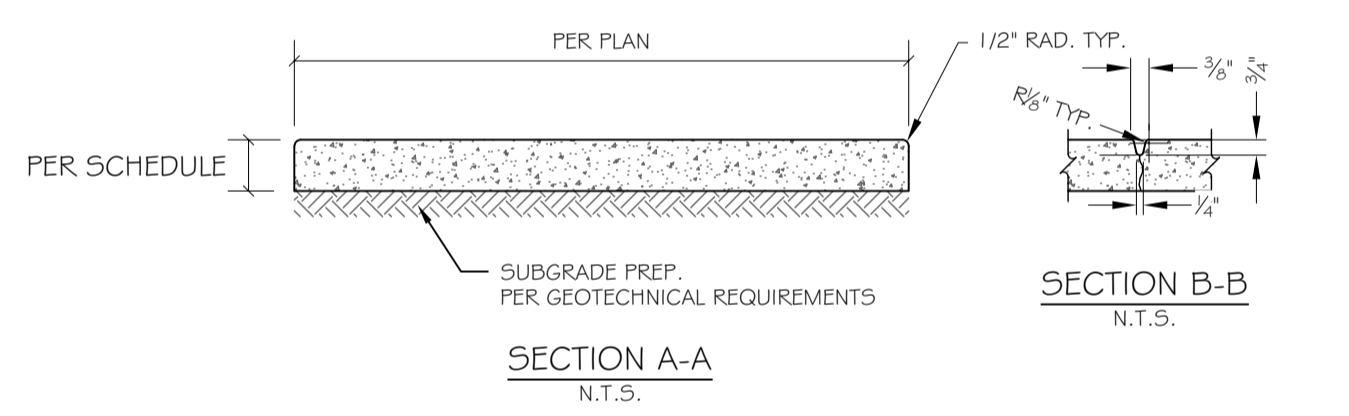
WHEEL STOP
NOT TO SCALE



SIDEWALK NOTES:
1. SAND CUSHION WILL NOT BE PERMITTED UNDER SIDEWALKS OR OTHER PAVEMENT.
2. DOWEL WITH #4 BARS AT 18" C-C WHEN CONNECTING TO EXISTING SIDEWALKS, DRIVEWAYS, CURBS AND GUTTER.
3. REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS OR AS SPECIFIED BY THE AUTHORITY HAVING JURISDICTION, WHICHEVER IS GREATER.
4. ALL JOINTS LOCATED WITHIN LARGE AREAS OF CONCRETE FLATWORK (PLAZA AREAS OR PAVEMENT BETWEEN BUILDINGS) SHALL BE SEALED WITH POLYURETHANE JOINT SEALANT PER JOINT DETAILS THIS SHEET.
5. CONTRACTOR SHALL SUBMIT FULL-SIZE SCALEABLE PLAZA AREAS JOINT LAYOUT FOR APPROVAL.
6. JOINT SEALANT IS NOT REQUIRED ON SIDEWALKS LOCATED IN TURF AREAS.
7. ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR SIDEWALKS.



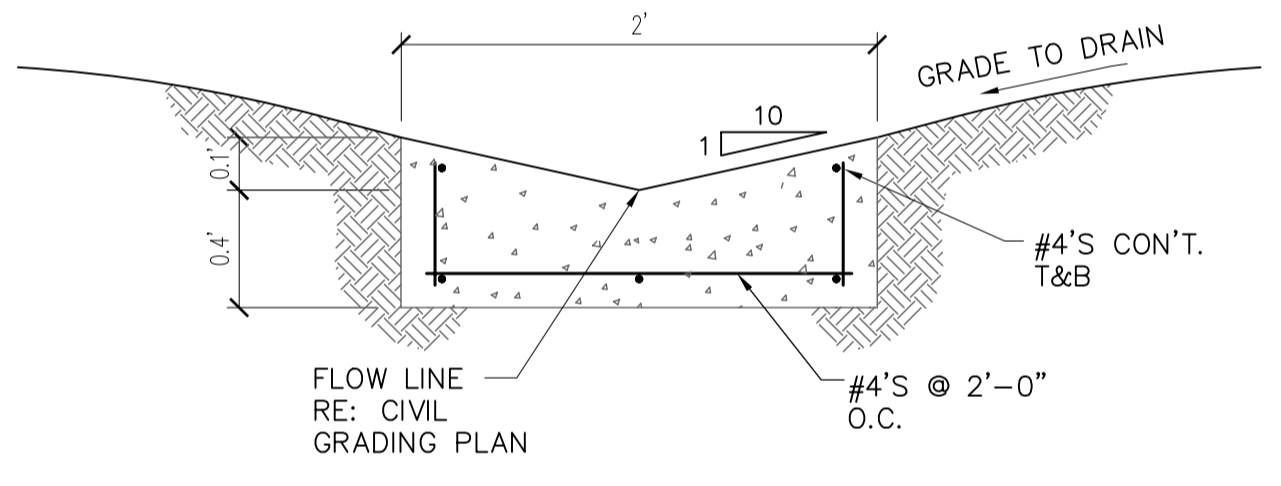
MOUNTABLE CURB RAISED ISLAND
NOT TO SCALE



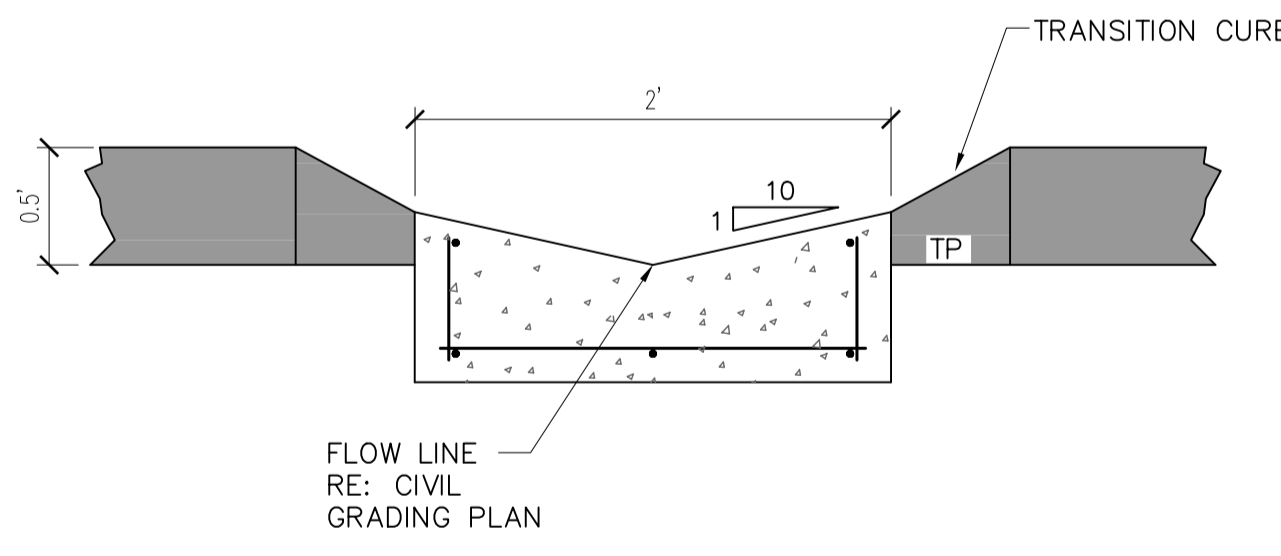
NOTES:
1. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/2" GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE.
2. DOWEL COATING SHALL BE ASPHALTIC COATING.

SIDEWALK PANEL SCHEDULE		
SIDEWALK WIDTH = W (FT.)	SIDEWALK THICKNESS = T (IN.)	JOINT SPACING = L (FT.)
4	4	4
5	4	5
6	4	5
7	5	7
8	5	8
9	5	9
10	5	10

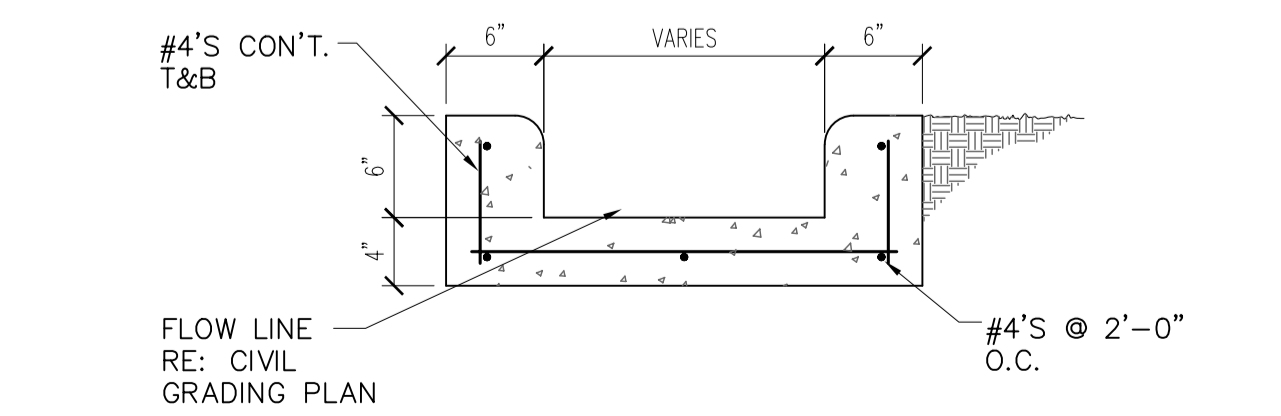
LANDSCAPE SIDEWALK
NOT TO SCALE



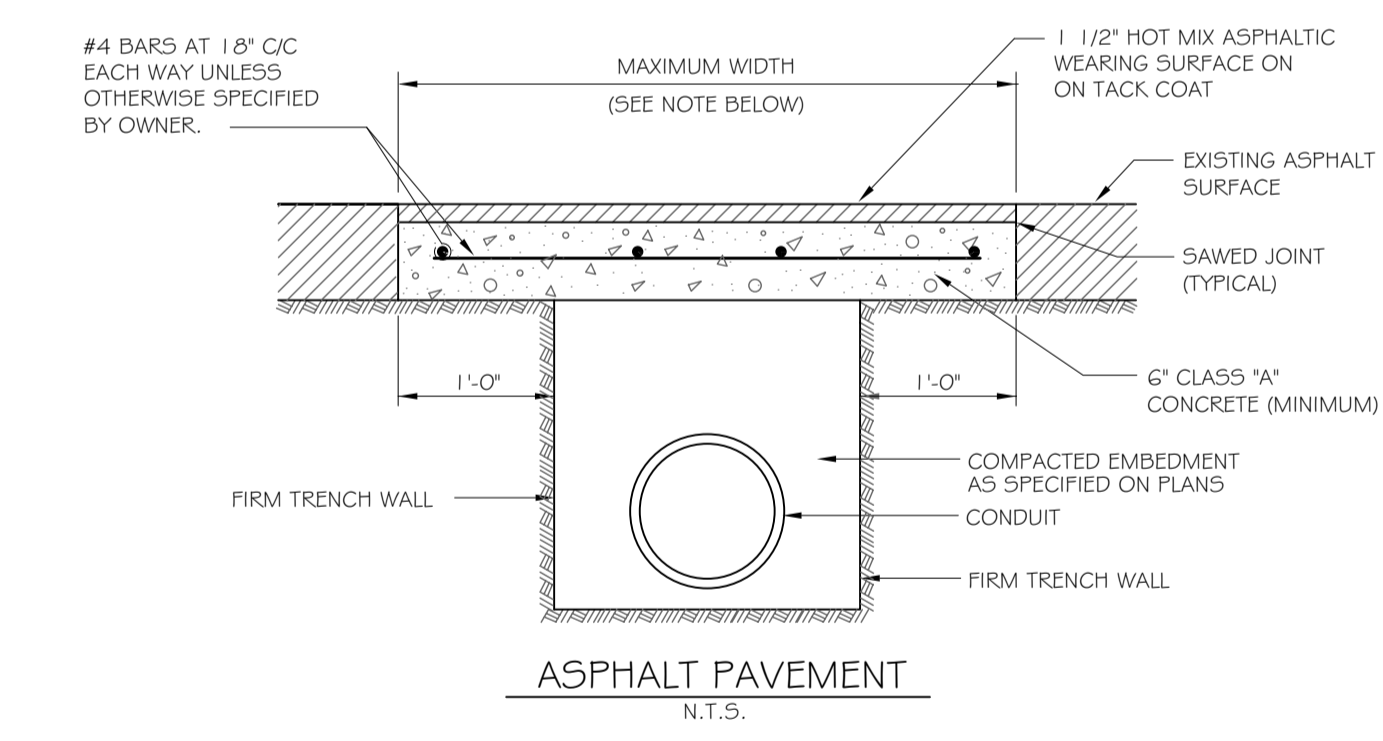
V-NOTCH CONCRETE SWALE IN GRASS AREA
NOT TO SCALE



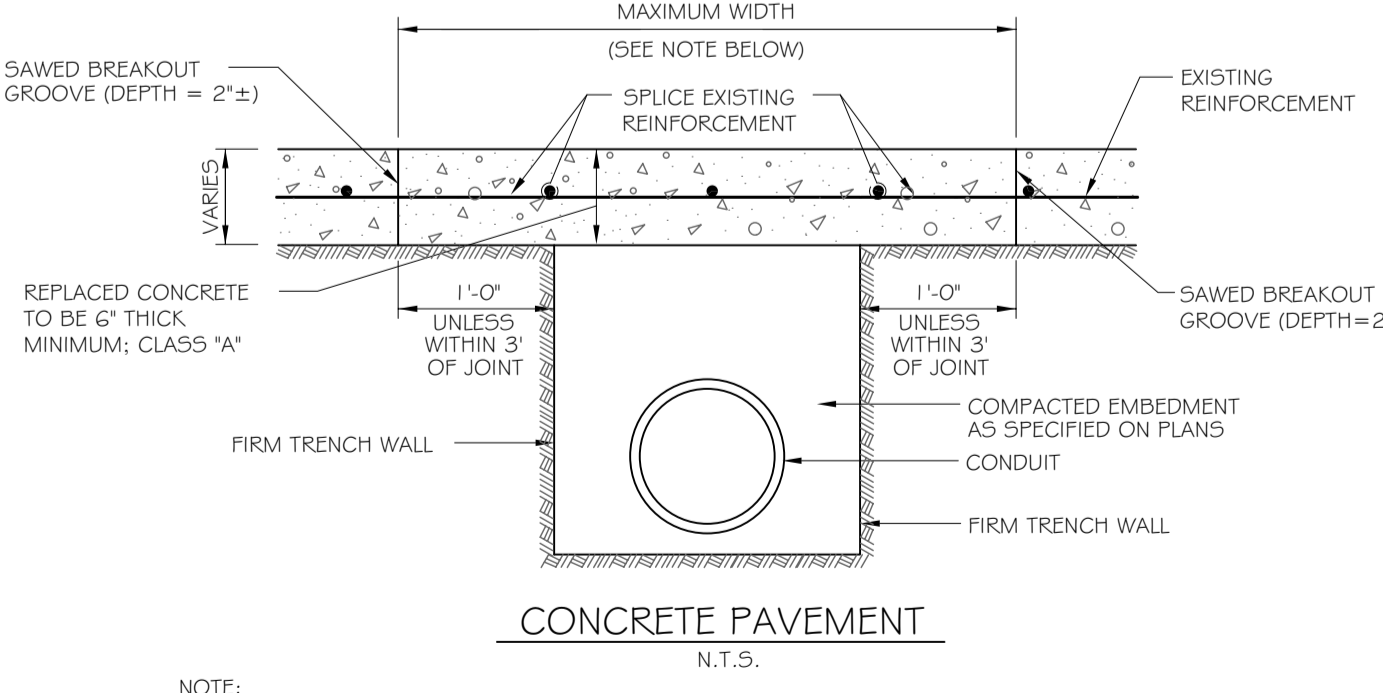
V-NOTCH CONCRETE SWALE & TRANSITION CURB
NOT TO SCALE



CONCRETE FLUME
NOT TO SCALE



ASPHALT PAVEMENT
N.T.S.



CONCRETE PAVEMENT
N.T.S.

PAVEMENT CUT REMOVAL & REPLACEMENT
NOT TO SCALE

Date	Description	No.
Revisions		

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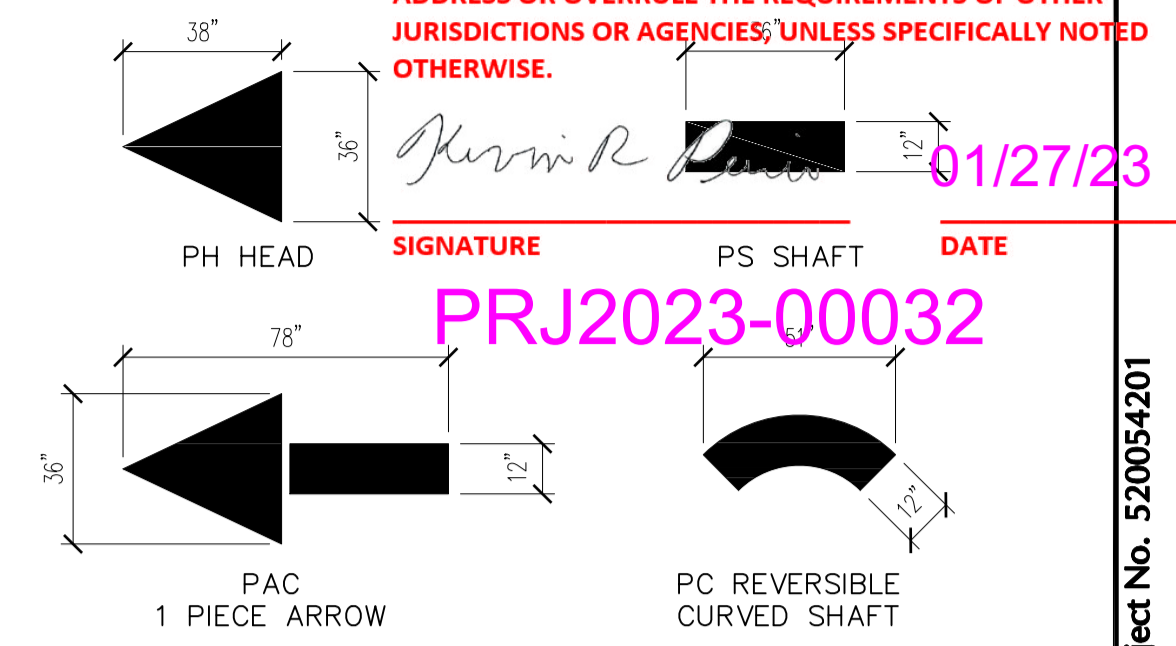
Project: **McDONALD'S NEW PROJECT**
L/C 024-1290
3720 WEST SUNSHINE STREET
SPRINGFIELD

GREENE COUNTY MISSOURI
Drawing Title

STANDARD DETAILS

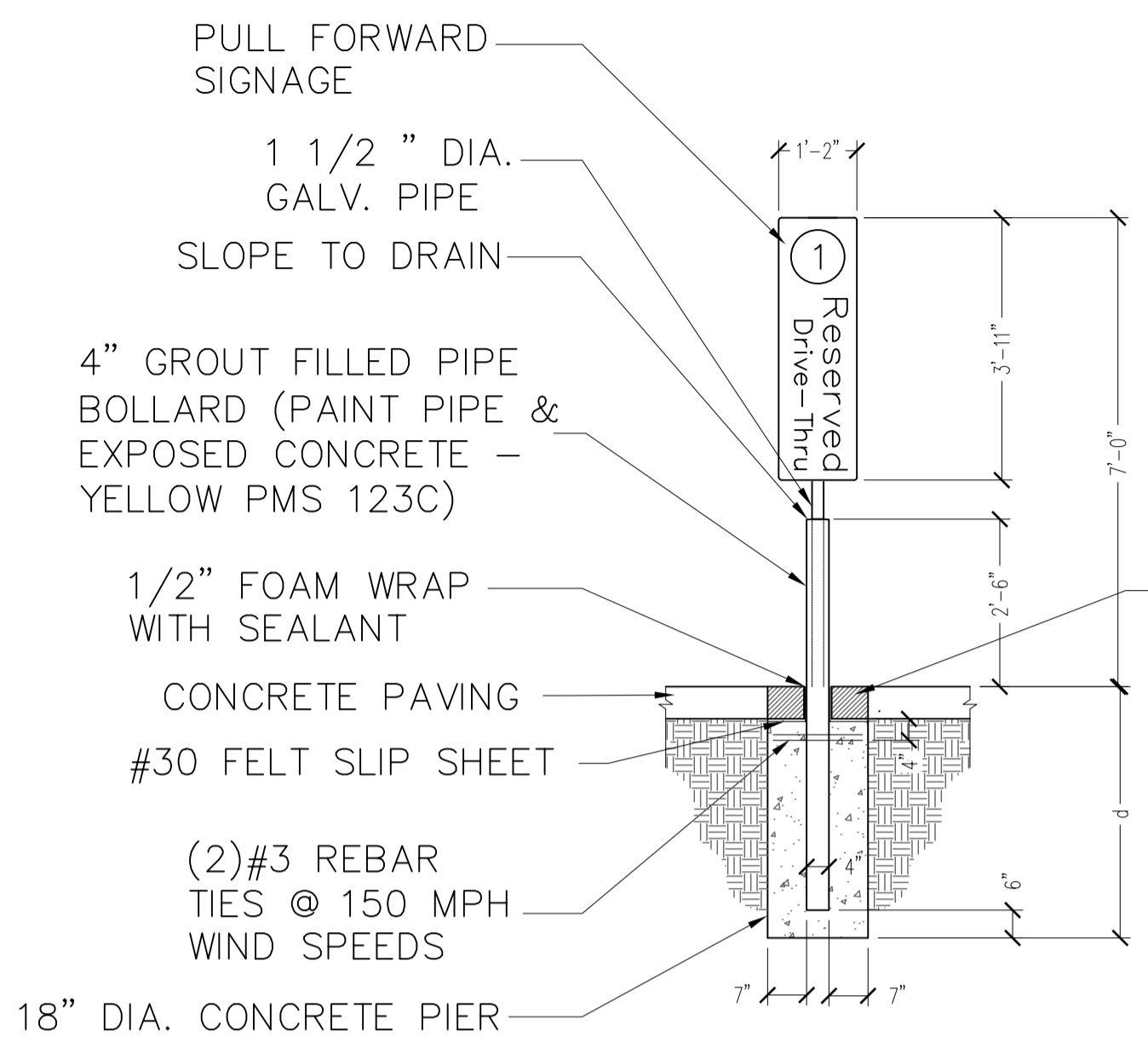
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Date DECEMBER 2022	
Drawn By OROD	
Checked By DWL	
Sheet 18 of 29	

NOTE: REVIEWED FOR COMPLIANCE WITH THE CITY CODE, APPROVED BY THE BUILDING OFFICIAL. THESE COMMENTS, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT REPRESENT THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

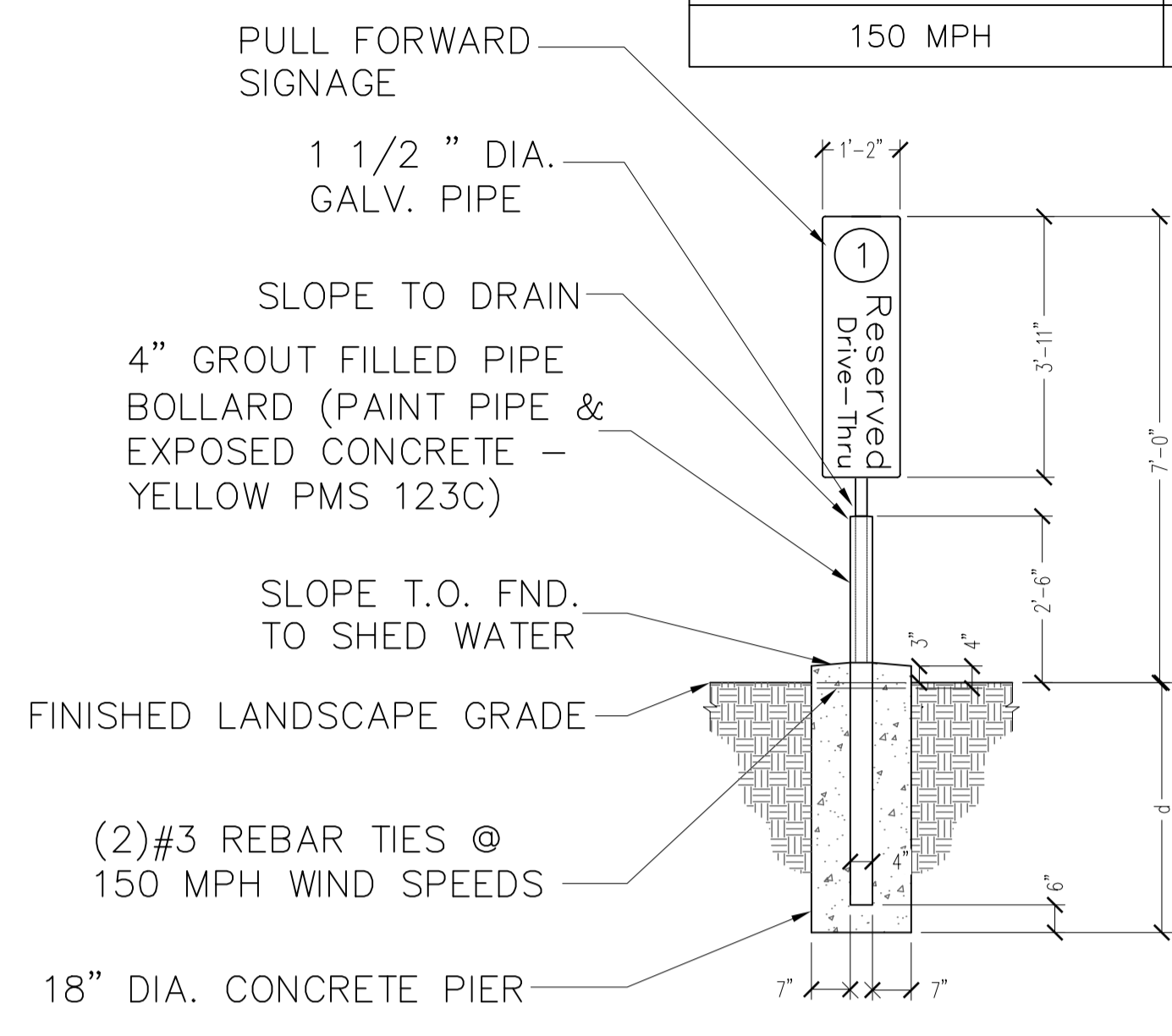


TYPICAL PAVEMENT MARKING NOT TO SCALE

WIND SPEED (3 SEC. GUST) (ASCE 7-05) (MPH)	d
100 MPH	3'-9"
150 MPH	5'-3"



OOSP & MOBILE PARKING SIGN DETAIL (IN PAVING AREAS) N.T.S.

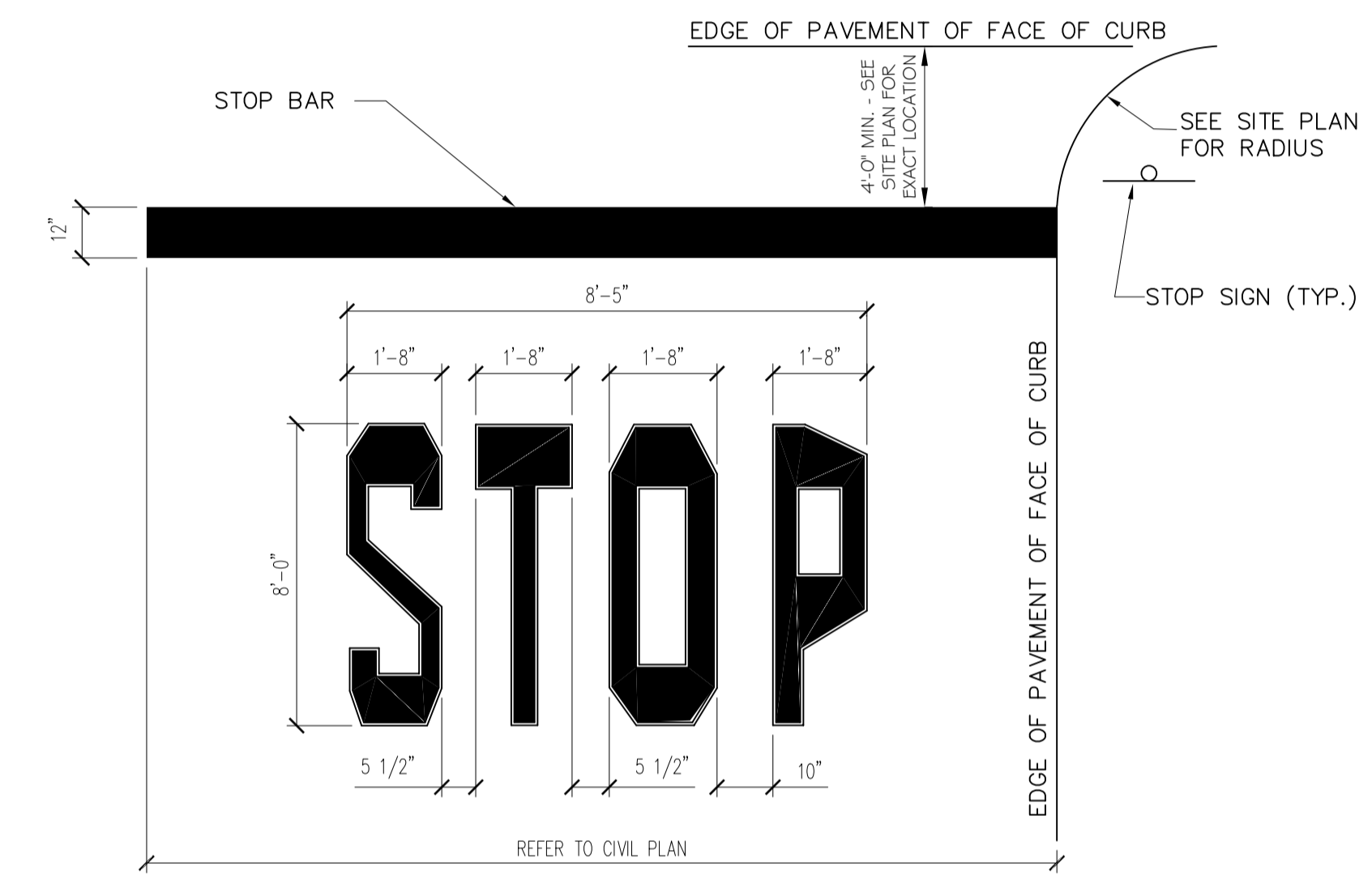


OOSP & MOBILE PARKING SIGN DETAIL (IN LANDSCAPE AREAS) N.T.S.

THANK YOU

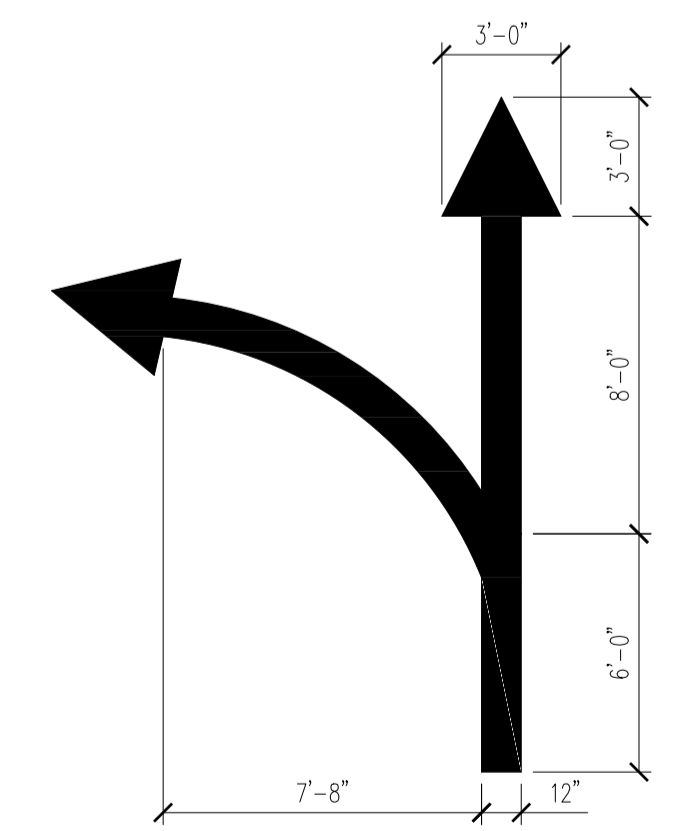
NOTES:
1. ALL TEXT SHALL BE PAINTED YELLOW (PMS 123).
2. PLACE 30'-0" FROM CENTERLINE OF PICK UP BOOTH.

PAINTED "THANK YOU" NOT TO SCALE



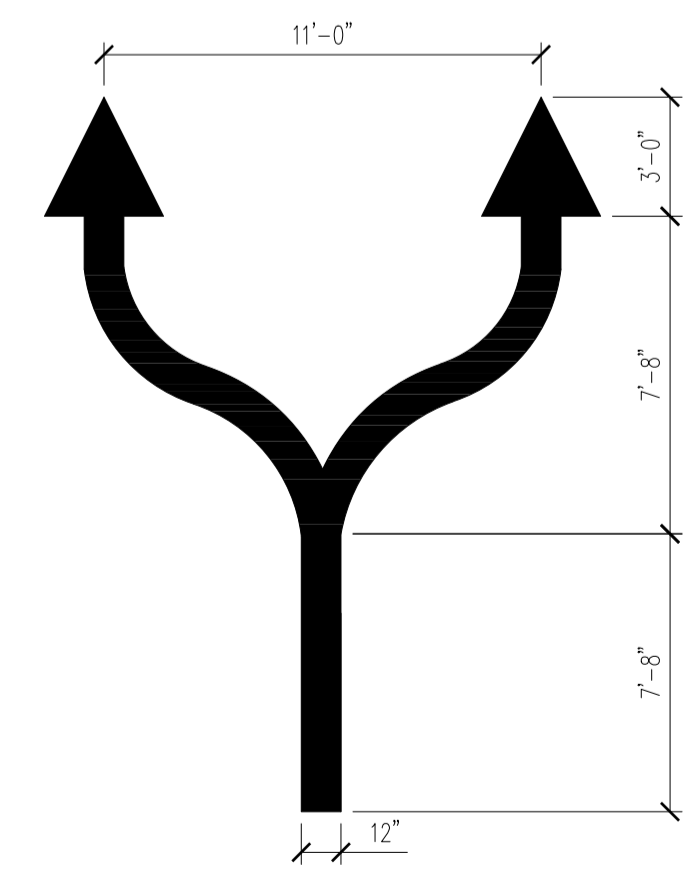
NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

"STOP BAR" NOT TO SCALE



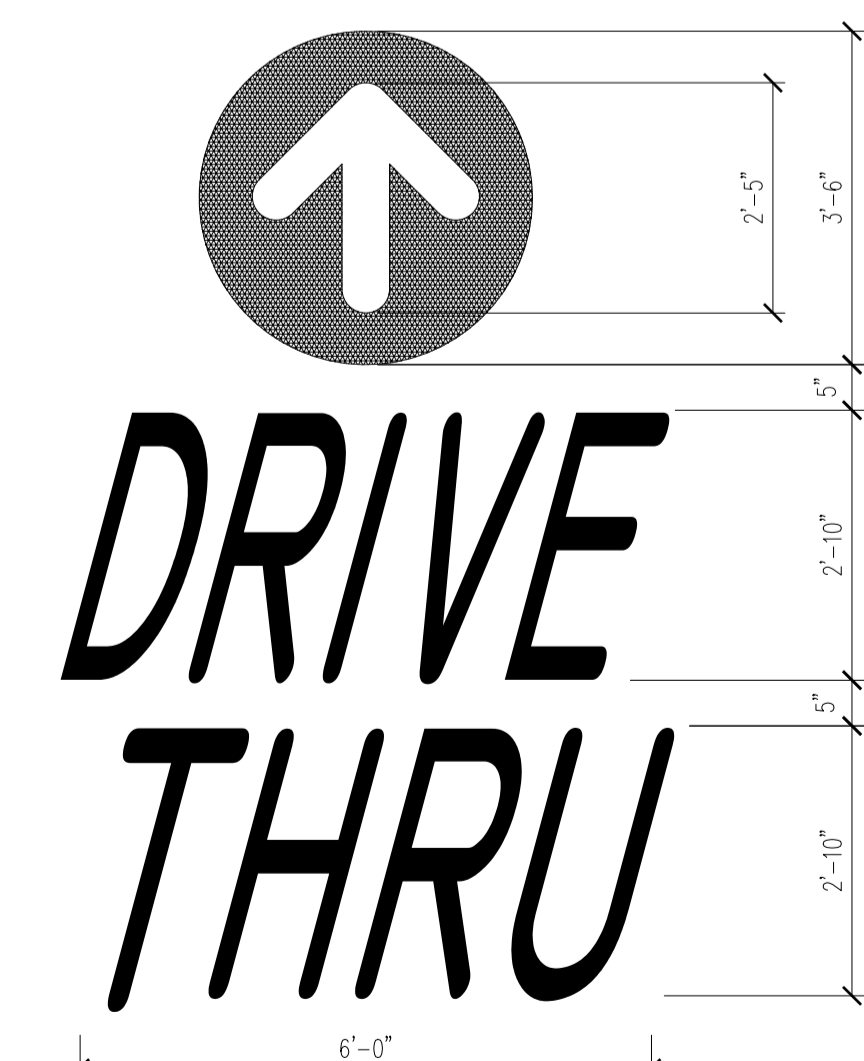
THIS IS TO BE USED ON ANY DESIGN THAT WOULD REQUIRE A "T" GATEWAY. ONLY DESIGNS THAT DO NOT HAVE A SINGLE ENTRY THAT LEADS A CAR RIGHT AT THE DECISION POINT OF THE TIP OF THE ISLAND. ONLY ONE OF OUR STANDARDS TEMPLATES HAS THIS DESIGN.

T-GATEWAY DRIVE-THRU MARKING NOT TO SCALE



THIS IS TO BE USED ON ALL DESIGNS THAT HAVE A SINGLE POINT OF ENTRY THAT LEADS A CAR DIRECTLY TOWARD THE TIP OF THE ISLAND.

DOUBLE DRIVE-THRU MARKING NOT TO SCALE



NOTE:
ALL TEXT AND ARROWS SHALL BE PAINTED YELLOW (PMS 123)

PAINTED "DRIVE THRU" MARKING NOT TO SCALE

OBJECTIVE OF STANDARDIZATION:
McDONALD'S OBJECTIVE IS TO STANDARDIZE OPTIMUM MARKINGS IN THE UNITED STATES TO ASSIST CUSTOMERS IN EASILY FINDING THE DRIVE-THRU LANES. THE MARKING POSITIONS ARE TO GUIDE THEM FROM ANY ENTRANCE ON THE PARKING LOT TO THE DRIVE-THRU LANE USING THE OPTIMUM ROUTE. THIS IS TYPICALLY AWAY FROM THE PRIMARY DRIVE AISLE, MOST COMMON ENTRANCE OR AROUND THE BUILDING TO INCREASE STACKING IN THE LANE. THE STANDARDIZATION FROM REGION TO REGION ASSISTS GUESTS WITH CONVENIENTLY FINDING THE DRIVE-THRU'S.

STANDARD LOT STRIPING STENCILS AND PAINT COLOR:
THESE ARE AVAILABLE FROM BETH BELL AT PAVEMENT STENCIL COMPANY, 4347-A AEROSPACE ROAD SE, ROANOKE, VA, 24014. 1-800-250-5547. THE FOLLOWING DESCRIPTION IS WHAT YOU WOULD SAY AS YOU ORDER. SHE HAS NO PART NUMBERS ASSOCIATED WITH THESE:

LOT STRIPING STENCILS DESCRIPTION
DRIVE THRU
ROUND CIRCLE (DIRECTIONAL ARROW)
THANK YOU
DOUBLE HEADED ARROW FOR A DOUBLE DRIVE-THRU IS MADE UP OF THREE COMPONENTS.
PC SHAFT 12"W X 36"L, A PC REVERSIBLE CURVED SHAFT 12"W X 51"L
PH ARROW HEAD 38"L X 36"W
LANE STRIPE IS A 6" WIDE STRIPE DONE BY THE LOT STRIPING COMPANY.
39" ADA HANDICAP TEMPLATE
PAINT COLOR: THIS IS FOR ALL DRIVE-THRU DIRECTIONAL STRIPING INCLUDING THE PAINTED STRIPE FOR THE LANE. THE PAINT COLOR SHOULD MATCH PMS 123 YELLOW.
PROVIDE YELLOW PAINT ON ALL DRIVE-THRU MARKINGS UNLESS NOTED OTHERWISE.

GUIDING PRINCIPLES
ALL ENTRANCES TO THE LOT
• THE WORD DRIVE THRU IS PLACED AT ALL ENTRANCES TO THE LOT APPROXIMATELY 25'-30' FROM THE CURB OR SIDEWALK. THEY SHOULD BE CENTERED IN THE DRIVEWAY (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC). RATIONALE: THIS ALLOWS THE CUSTOMER TO MOVE SAFELY ONTO THE LOT AND SEE THE DRIVE-THRU DIRECTIONAL ARROW WHEN THEY ARE SAFELY OFF THE STREET.
• ROUND CIRCLE (DIRECTIONAL ARROW): THE CIRCLE ARROW SHOULD BE CENTERED ABOVE THE WORD "DRIVE" APPROXIMATELY 5 FEET FURTHER INTO THE PARKING LOT. RATIONALE: THE STANDARD YELLOW COLOR WITH THE WORD DRIVE-THRU SEEN FIRST AND THE ROUND ARROW BEGINS TO BRAND THE MARKINGS.

LOT DIRECTIONAL MARKINGS:
• ROUND CIRCLE (DIRECTIONAL ARROW): THE ARROWS SHOULD BE SPACED EVERY 40 TO 60 FEET. THIS ALLOWS EVENLY POSITIONED ARROWS THROUGHOUT THE LOT. RATIONALE: THE STRATEGIC POSITIONING ALLOWS THE CAR TO REACH AN ARROW AND OFF IN THE DISTANCE SEE THE NEXT DIRECTIONAL ARROW. THIS LEADS THEM IN THE DESIRE DIRECTION.
• IF THERE ARE 5 OR MORE ARROWS ROUTING SOMEONE TO THE DRIVE-THRU THEN PLAN THE CORRECT PLACEMENT TO ADD THE WORD "DRIVE" SIMILAR TO THE ENTRANCE. THIS IS TO BE CENTERED BETWEEN THE ARROWS ON THE PARKING LOT. AN EXAMPLE IS IT TAKES EIGHT ARROWS TO GUIDE SOMEONE FROM THE ENTRANCE TO THE DRIVE-THRU ENTRANCE. YOU MIGHT DECIDE TO PLACE THE WORD DRIVE-THRU AT THE 4TH ARROW POSITION. RATIONALE: THE LONGER THE RUN TO THE DRIVE-THRU THIS REAFFIRMS THE COLOR AND DIRECTIONAL ARROWS ARE STEERING THEM IN THE RIGHT DIRECTION FOR THE DRIVE-THRU ENTRANCE.

DRIVE-THRU ENTRANCE:
• THE DOUBLE HEADED ARROW FOR DOUBLE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC APPROPRIATELY TO EITHER LANE AS THEY APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION. RATIONALE: EACH CUSTOMER READS FROM DIFFERENT LEVELS SOME BY LOT MARKINGS, SOME AT EYE LEVEL AND OTHERS LOOK ABOVE THE VEHICLES. BY ADDRESSING ALL OF THESE METHODS IN BRANDING, THE USE IS SIMPLIFIED FOR THE MAJORITY OF THE GUESTS. THE DOUBLE ARROW INCREASES THE USAGE OF THE OUTSIDE LANE IN OFF PEAK TIMES HELPING THE RESTAURANT MAXIMIZE THE CAPACITY.

PARKING LOT STRIPING NOT IN THE DRIVE-THRU:
• ANY LOT STRIPING OTHER THAN THE DRIVE-THRU SHOULD BE WHITE. IF THE CITY CODE REQUIRES BLUE WITH THE HANDICAP PARKING STALLS THAT IS AN ACCEPTABLE DEVIATION. RATIONALE: THIS HELPS SUBTLY IDENTIFY WHAT IS A DRIVE-THRU MARKING FROM THE PARKING LOT MARKING AND CREATES A RUNWAY PATH TO THE LANE ENTRANCE.
• THE ENTRANCES WILL ALL HAVE A WHITE INGRESS/ EGRESS ARROW FOR THE CUSTOMER TO EASILY IDENTIFY IF IT IS A ONE WAY OR TWO-WAY ENTRANCE. THESE ARE WITHIN 10FT FROM INGRESS POINT AND IS DESIGNED TO BE SEEN CLEARLY BEFORE A CAR MAKES A TURNING COMMITMENT. RATIONALE: THE CONSISTENCY HERE WILL HELP CUSTOMERS IDENTIFY THE FLOW OF TRAFFIC ON ALL ENTRANCES FOR THE CONSUMER WHEN THEY ARE AT A DECISION POINT.
• ANY ADDITIONAL WHITE ARROWS NEEDED SHOULD BE POSITIONED IN BETWEEN THE DRIVE-THRU DIRECTIONAL MARKINGS.
• ANY WORDING NEEDED OTHER THAN FOR THE DRIVE-THRU AREA SHOULD BE IN WHITE AND POSITIONED SO IT DOES NOT INTERFERE WITH THE DRIVE-THRU MARKINGS.

SHOULD YOU HAVE ADDITIONAL QUESTIONS FEEL FREE TO CONTACT THE McDONALD'S RESTAURANT DESIGN GROUP AT THE HOME OFFICE FOR FURTHER CLARIFICATIONS.

Date	Description	No.
Revisions		

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These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.



LANGAN
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8951 Cypress Waters Blvd, Suite 150
Dallas, TX 75019
T: 817.328.3200 www.langan.com
MO Certificate of Authorization No. F001330220

Project
McDONALD'S NEW PROJECT
L/C 024-1290
3720 WEST SUNSHINE STREET
SPRINGFIELD
GREENE COUNTY MISSOURI
Drawing Title

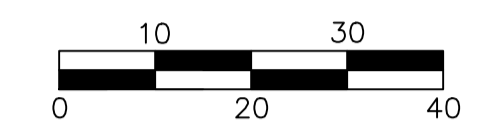
STANDARD DETAILS

Project No. 520054201	Drawing No. C10.4
Date DECEMBER 2022	
Drawn By OROD	
Checked By DWL	
Sheet 19 of 29	

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, APPLICABLE BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT REPRESENT THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

Signature: *[Signature]* DATE: 01/27/23

PRJ202300932



SCALE: 1" = 20'

Date	Description	No.
Revisions		

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Project: **McDONALD'S NEW PROJECT**
L/C 024-1290
3720 WEST SUNSHINE STREET
SPRINGFIELD

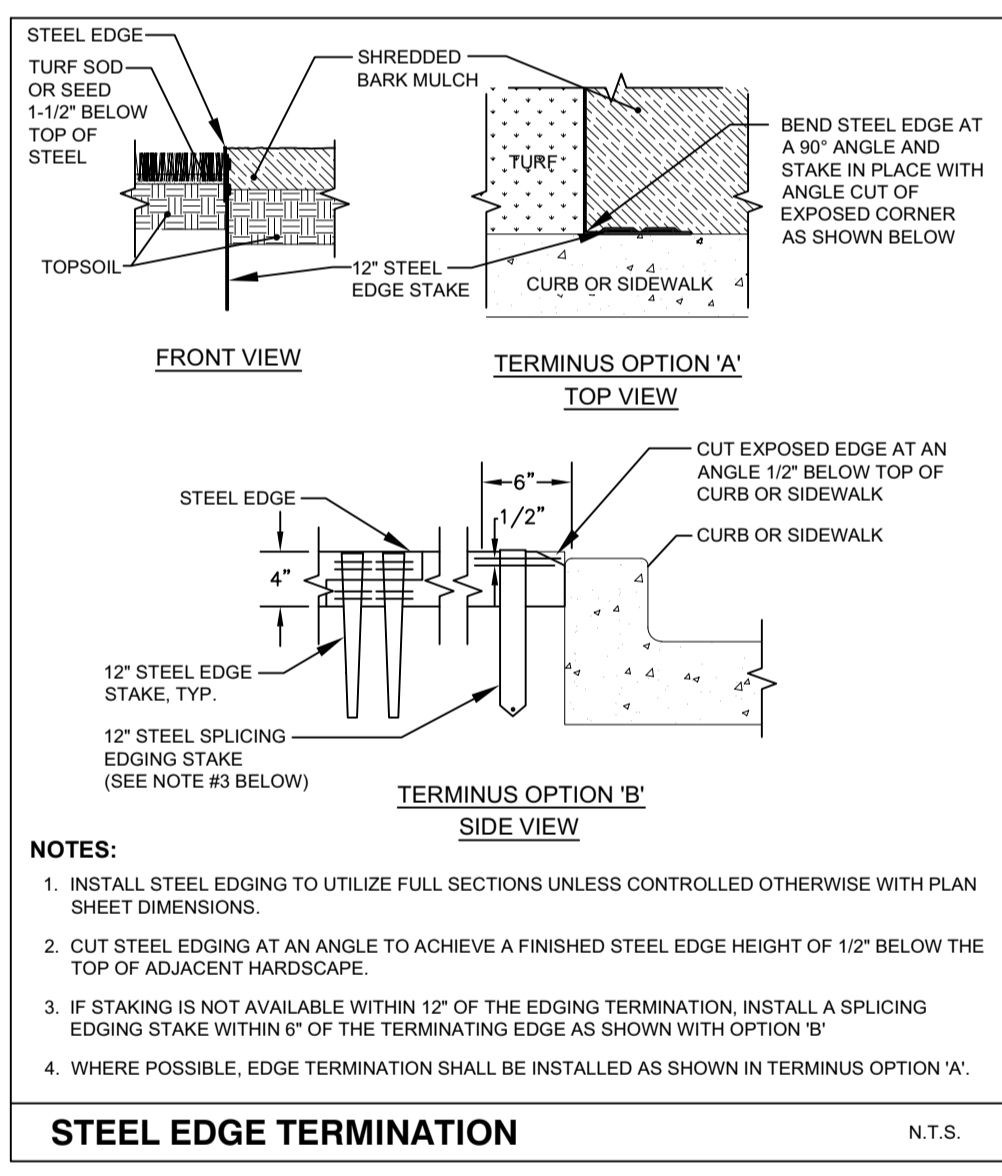
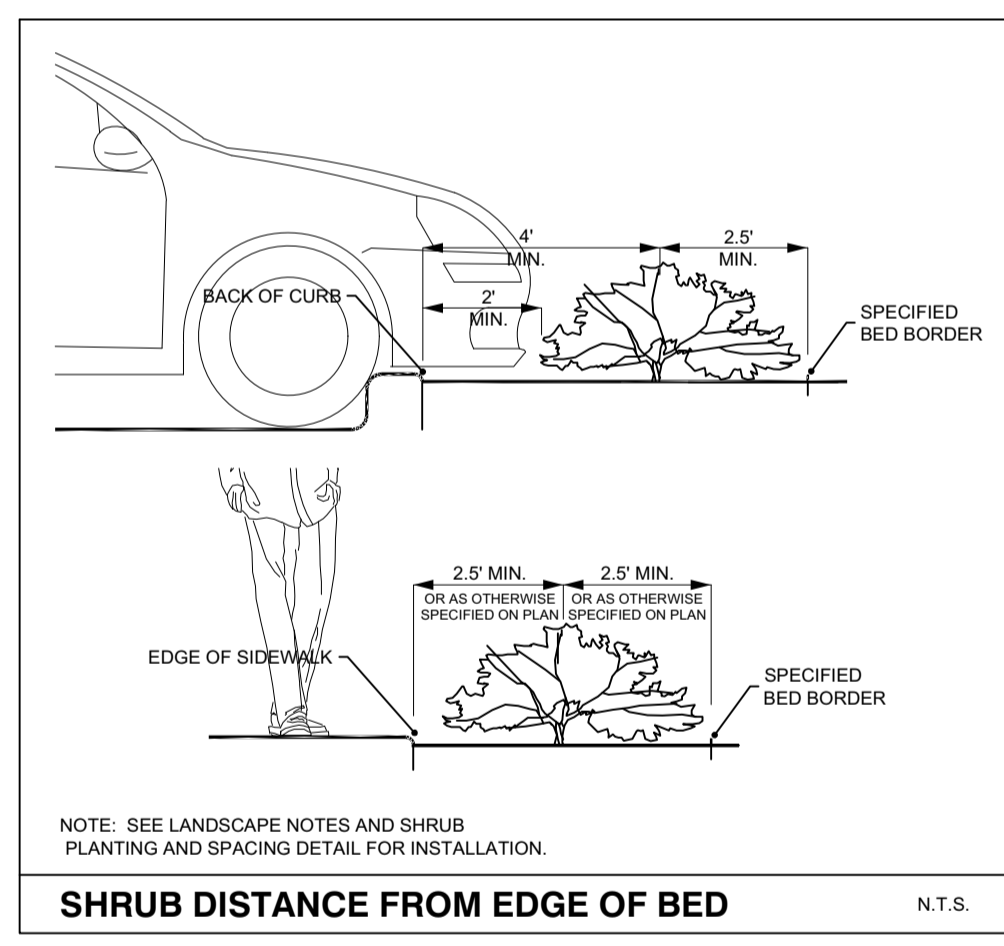
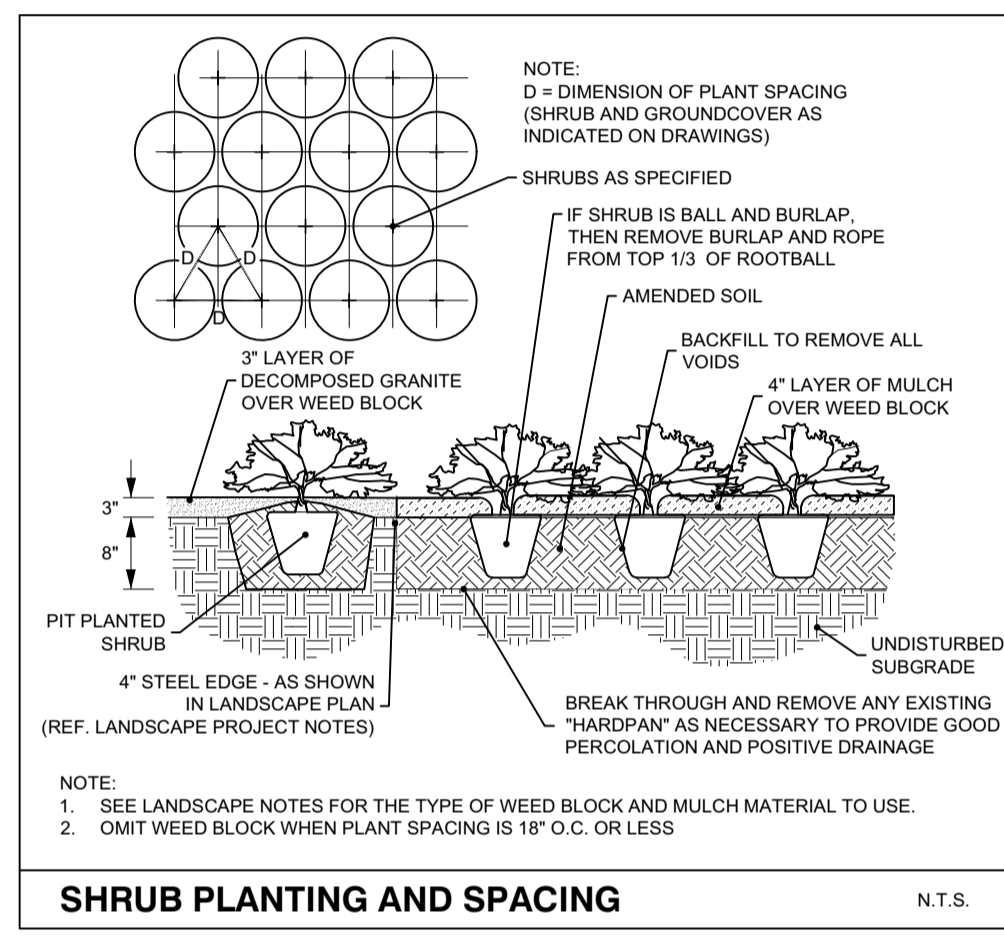
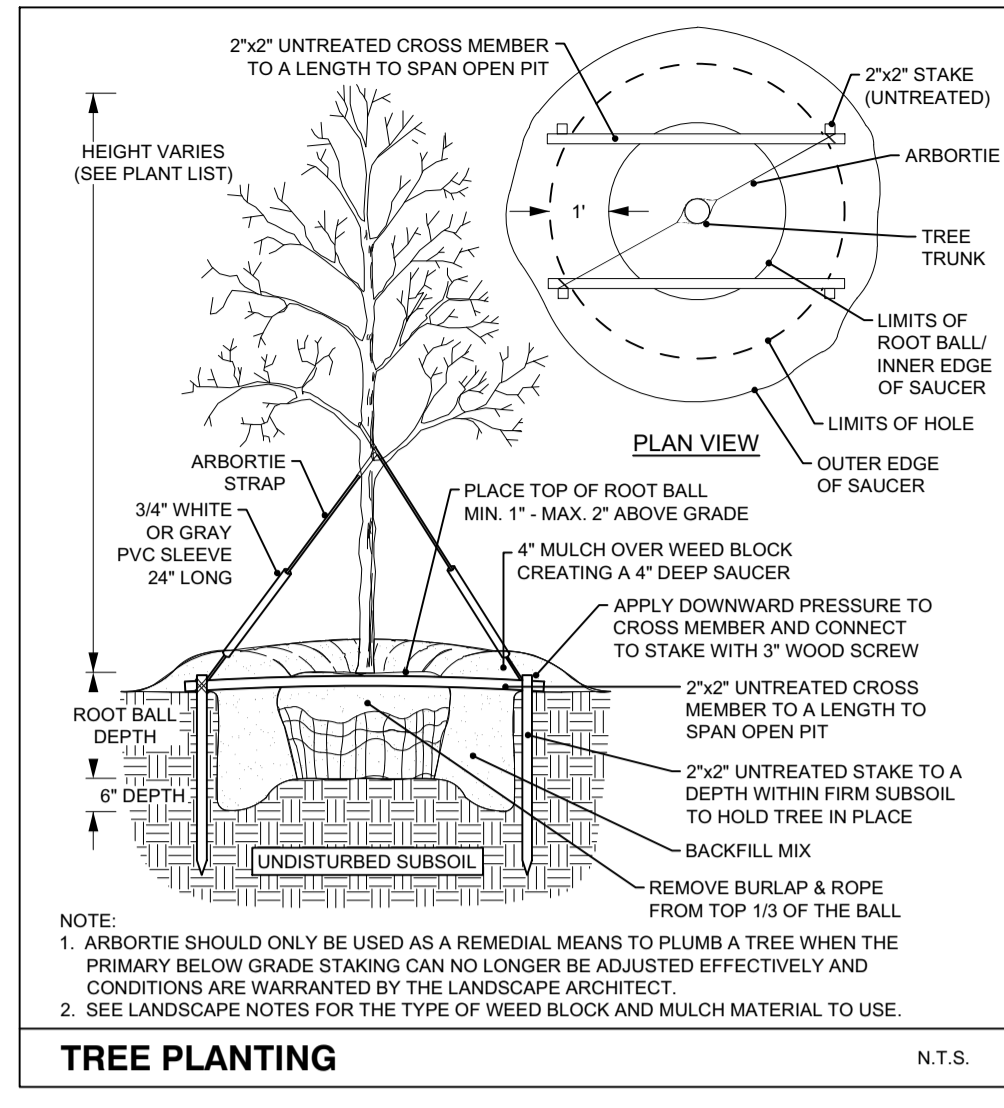
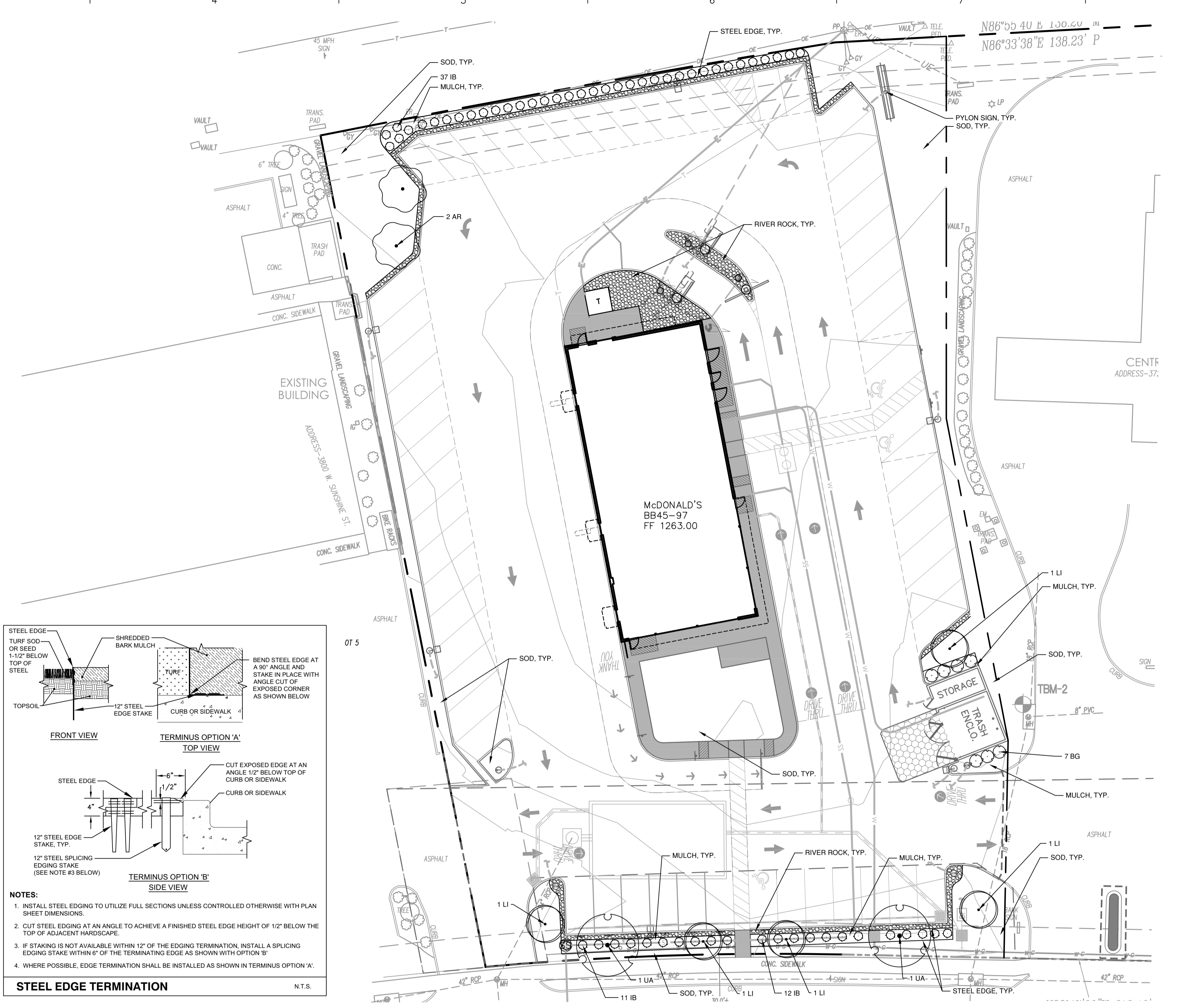
GREENE COUNTY MISSOURI
 Drawing Title

LANDSCAPE PLAN

Project No.	Drawing No.
520054201	L1.0
Date	JANUARY 2022
Drawn By	DH
Checked By	MS
Sheet	21 of 29



Know what's below. Call before you dig.



LANDSCAPE PROJECT NOTES

Refer to Stewwork Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor shall have full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeter.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of river rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.

SOD PROJECT NOTES

EROSION CONTROL:
 Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT AND ACCEPTANCE is achieved.

SOIL PREPARATION:
 All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied, if adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

GRASS SOD:
 Turfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a grown-in appearance.

IRRIGATION:
 In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:
 Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

PLANT SCHEDULE

TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	AR	2	ACER RUBRUM / RED MAPLE	2.5" CAL.	B&B	
	UA	2	ULMUS AMERICANA / AMERICAN ELM	2.5" CAL.	B&B	
UNDERSTORY TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	LI	5	LAGERSTROEMIA INDICA / CRAPE MYRTLE	2.5" CAL.	B&B	SINGLE STEM
SHRUBS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	BG	7	BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD	5 GAL.	CONTAINER	
	IB	60	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	3 GAL.	CONTAINER	

SPRINGFIELD, MO LANDSCAPE ORDINANCE COMPLIANCE CHART

ORDINANCE SECTION	DESCRIPTION	REQUIRED/PROVIDED	COMPLIANCE
Sec 36-482 9(a)	Minimum of 5% on parking lot should be devoted to interior landscaping (8 pts for each percent up to 10% then 6 pts after that between 10-20%)	REQUIRED: 55,525 sf x 0.05= 2,776.25 sf PROVIDED: 9,505 sf (17%)(8x10=80)+(7x6)=122 pts)	COMPLIES
Sec 36-482 9(a)	Minimum of 1 canopy Tree or 2 understory trees required for every 30 parking spaces (6 pts for each Tree)	REQUIRED: 57/30 = 2 Canopy trees PROVIDED: 2 Canopy Trees (18 pts)	COMPLIES
Sec 36-482 9(b)	Minimum of 1 canopy tree, 1 understory tree, and 4 shrubs for every 100 LF of street frontage (6 pts for each canopy tree, 4 pts for each ornamental, and 2 pts for each shrub)	REQUIRED: 150 LF= 1.5 canopy trees, 1.5 understory trees, and 6 shrubs PROVIDED: 2 canopy and 2 understory trees and 23 shrubs (12+8+46= 66 pts)	COMPLIES
Sec 36-482 10	200 points required to meet landscape requirements for zoning	REQUIRED: 200 Points in total based off all the rows above PROVIDED: 206 Points	COMPLIES