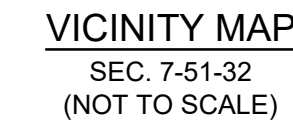


SECTION 7, TOWNSHIP 51 NORTH, RANGE 32 WEST
N. INDIANA AVENUE & NE 86TH STREET
KANSAS CITY, CLAY COUNTY, MISSOURI



NE 92ND ST

N PROSPECT AVE

N INDIANA AVE

N BRIGHTON AVE

NE BARRY ROAD

MO-152 HIGHWAY

PROJECT LOCATION

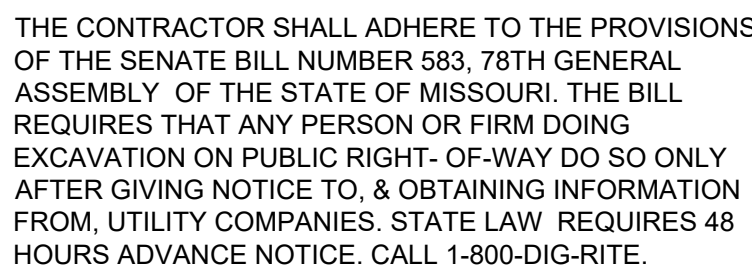
I HAVE REVIEWED THESE PLANS AND UNDERSTAND WHAT IS PROPOSED.
ANY INCIDENTAL WORK NOT SPECIFICALLY PERMITTED MUST BE
PERFORMED BY THE PERMIT HOLDER.

I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF KANSAS CITY, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

OLSSON HAS BEEN RETAINED TO PROVIDE AS-BUILT DRAWINGS FOR THIS PROJECT.

THE POLICY OF THE "PLAN PREPARATION CRITERIA AND PROCEDURE" AND POLICY DOCUMENT NO. 880544 "AS-BUILT DRAWINGS FOR SEWER BUILD BY PERMIT" STIPULATE THE FOLLOWING REGARDING "AS-BUILT" DRAWINGS:

1. DRAWINGS ARE TO BE PROVIDED WITHIN THIRTY (30) DAYS AFTER THE DATE THE "REQUEST FOR AS-BUILTS" LETTER IS ISSUED BY THE CITY TO THE CONTRACTOR.
2. DRAWINGS MUST BE ACCEPTED BY THE CITY BEFORE ANY SERVICE CONNECTIONS WILL BE ALLOWED.
3. DRAWINGS ARE PART OF THE PERMIT OBLIGATIONS MAKING THEM THE RESPONSIBILITY OF THE PERMITTEE.
4. THE COST OF PREPARING "AS-BUILT" DRAWINGS SHALL BE INCLUDED IN THE PERFORMANCE BOND.



☐ NOT FOR CONSTRUCTION

☒ REVIEWED FOR CONSTRUCTION

olsson®

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FAX 785.539.6901

Olsson - Engineering
Missouri COA #001592

STATE OF MISSOURI
PROFESSIONAL ENGINEER
MITCHELL ALAN
PLEAK
M. A. Pleak
NUMBER
PE-201616164
2-17-25

TITLE SHEET	
PUBLIC IMPROVEMENT PLANS	
McDONALD'S RESTAURANT N. INDIANA AVENUE & NE 86TH STREET	
KANSAS CITY, MISSOURI	2024

drawn by: AJK
designed by: AJK
project no.: 023-06570
date: 02.17.25

SHEET
CP100

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE PLANS IN THEIR POSSESSION ARE THE MOST CURRENT VERSION ISSUED, ARE FULLY COORDINATED WITH ALL SUBCONTRACTORS, AND PRESENT ON SITE AT ALL TIMES. CURRENT PLANS PREPARED BY OLSSON MAY BE OBTAINED AT THE DIRECTION OF OLSSON'S CLIENT. DIRECT REQUESTS TO OLSSON MAY REQUIRE ADDITIONAL AUTHORIZATIONS, AGREEMENTS, AND/OR FEES. PLEASE CONTACT THE ENGINEER FOR INFORMATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATIONS FROM THESE PLANS UNLESS WRITTEN APPROVAL FROM ENGINEER, OWNER, AND DEVELOPER.
3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES AND ITEMS OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK SHOWN IN THE PLANS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES, AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
7. THE CONTRACTOR SHALL NOT ENGAGE IN ACTIVITIES THAT MAY ENCROACH ON WATERS OF THE U.S., INCLUDING WETLANDS, UNTIL ANY NECESSARY PERMITS MAY BE OBTAINED. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS DESCRIBED IN THE PERMIT.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, THE SAFETY OF ALL PERSONS INCLUDING VISITORS AND THE GENERAL PUBLIC, AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY THROUGHOUT THE PROJECT AND NOT BE LIMITED BY WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
9. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES AND OBTAIN ANY RELEVANT INFORMATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MO. AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
12. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER TO PERFORM A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE. ACTUAL SITE SIGNAGE LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER PER ARCHITECTURAL PLANS.
13. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DELIVERY MANAGER AND COORDINATING ANY MAILBOXES THAT MAY BE DISTURBED. FAILURE TO DO SO MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.

1. ARCHITECTURAL AND STRUCTURAL ELEMENTS SHOWN IN THESE PLANS ARE FOR REFERENCE ONLY. CONTRACTORS AND SURVEYORS SHALL REFERENCE THEIR RESPECTIVE PLANS FOR DESIGN INFORMATION.
2. THE CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AS PROVIDED BY THE GEOTECHNICAL ENGINEER INCLUDING ALL CURRENT ADDENDUMS, THE STANDARDS AND SPECIFICATIONS OF KANSAS CITY. MO SHALL ALSO APPLY AND TAKE PRECEDENCE WHEN STRICTER THAN THE GEOTECHNICAL REPORT OR WHEN NO GEOTECHNICAL REPORT IS GIVEN.
3. UNLESS EXPLICITLY DESCRIBED OTHERWISE WITHIN THESE PLANS THE FOLLOWING SHALL APPLY:
 - A. ALL CONSTRUCTION, INCLUDING THOSE LISTED BELOW, SHALL CONFORM TO THE LATEST CODES AND ORDINANCES OF KANSAS CITY, MO.
 - B. ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - C. ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE UTILITY COMPANIES.
 - D. ALL EXTERIOR PAVEMENT (PCC, ASPHALT, ETC.) SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS OF KANSAS CITY, MO AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT BY OLSSON DATED AUGUST 5, 2024.

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING A MINIMUM OF 7 DAYS PRIOR TO THE REQUESTED DATE OF APPROVAL. ENGINEER SHALL REVIEW SHOP DRAWINGS OR SAMPLES CONFORMANCE WITH THE DESIGN FOR THIS PROJECT AS DESCRIBED IN THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS. THE ENGINEER'S REVIEW SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS NOTIFIED ENGINEER OF EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND OBTAINED ENGINEER'S WRITTEN APPROVAL OF EACH SUCH VARIATION PRIOR TO SUBMITTING EACH SHOP DRAWING OR SAMPLE. CONTRACTOR SHALL HAVE REVIEWED AND VERIFIED:
 - A. ALL FIELD MEASUREMENTS, QUANTITIES, DIMENSIONS, SPECIFIED PERFORMANCE CRITERIA, INSTALLATION REQUIREMENTS, MATERIALS, CATALOG NUMBERS AND SIMILAR INFORMATION WITH RESPECT THERETO;
 - B. ALL MATERIALS WITH RESPECT TO INTENDED USE, FABRICATION, SHIPPING, HANDLING, STORAGE, ASSEMBLY AND INSTALLATION PERTAINING TO THE PERFORMANCE OF THE WORK;
 - C. ALL INFORMATION RELATIVE TO MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO;
 - D. CONTRACTOR SHALL ALSO HAVE REVIEWED AND COORDINATED EACH SHOP DRAWING OR SAMPLE WITH OTHER SHOP DRAWINGS AND SPECIFICATIONS, AND WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
 - E. ALL SUBMITTED SHOP DRAWINGS SHALL BEAR A STAMP OR SPECIFIC WRITTEN INDICATION AND SIGNATURE THAT CONTRACTOR HAS FULLY COMPLETED THE ABOVE TASKS.
2. SHOP DRAWINGS AS DESCRIBED ABOVE ARE REQUIRED FOR, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. ALL STORM SEWER STRUCTURES TO BE INSTALLED WITH THIS PROJECT.
 - B. ALL STURARY SEWER STRUCTURES TO BE INSTALLED WITH THIS PROJECT.
 - C. SITE FENCING AND RAILING INCLUDING ANY GATES.
 - D. ALL LANDSCAPE AND RETAINING WALLS.
 - E. ANY ITEMS IN THESE PLANS THAT ALLOW FOR AN "APPROVED EQUAL" ALTERNATIVE.

1. THE CONTRACTOR SHALL INSTALL TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT-OF-WAY AS SHOWN IN THESE PLANS. IF PLANS ARE NOT PROVIDED, CONTRACTOR SHALL COORDINATE AND PROVIDE CONTROLS TO THE SATISFACTION OF THE RIGHT-OF-WAY OWNER.
2. THE CONTRACTOR SHALL PROTECT ALL TREES OVER 3" CALIPER FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE ON THESE PLANS.
3. IN ADDITION TO THE CONDITIONS OF THE GEOTECHNICAL REPORT AND AS A MINIMUM THE CONTRACTOR SHALL PERFORM THE GRADING AS FOLLOWS:
 - A. THE CONSTRUCTION AREA SHALL BE CLEARED, GROOMED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE IN AREAS DESIGNATED BY THE OWNER. CONTRACTOR SHALL REMOVE EXCESS STRIPPINGS AND EXCESS EXCAVATION WITHIN 30 DAYS OF COMPLETION OF GRADING OPERATIONS.
 - B. AREAS TO RECEIVE FILL AND AREAS CUT TO SUBGRADE LEVEL SHALL BE SCARIFIED AND TO THE TOP 6-INCH DEPTH CONNECTED TO 95% STANDARD PROCTOR DENSITY. THE SUBGRADE SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 - C. FILL SHALL BE PLACED IN MAXIMUM OF 9 INCH LIFTS.
 - D. TOPSOIL SHALL BE PLACED TO A MINIMUM DEPTH OF 6 INCHES OVER ALL AREAS DISTURBED BY THE WORK. LARGE STONES, STICKS AND LUMPS SHALL BE REMOVED OR BROKEN UP, AND THE TOPSOIL SHALL BE LEVELED AND RAKED. ALL DISTURBED AREAS SHALL BE LANDSCAPED PER LANDSCAPE PLANS OR SHALL BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED.
- E. CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS AS REQUIRED.
4. THE CONTRACTOR SHALL DISPOSE ALL WASTE MATERIAL RESULTING FROM THE PROJECT OFF-SITE AND IN STRICT CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES.
5. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED. NOT ALL ADJUSTMENTS ARE INDICATED IN THE PLANS.
6. THE CONTRACTOR SHALL STREET SWEEP OR OTHERWISE CLEAN ALL ACCESS ROUTES TO THE SITE AT CONCLUSION OF THE PROJECT.

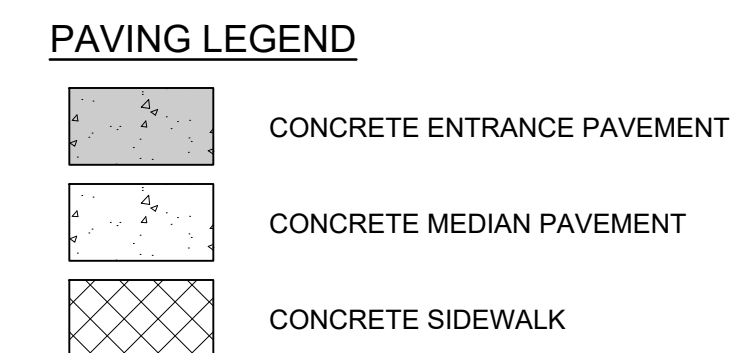
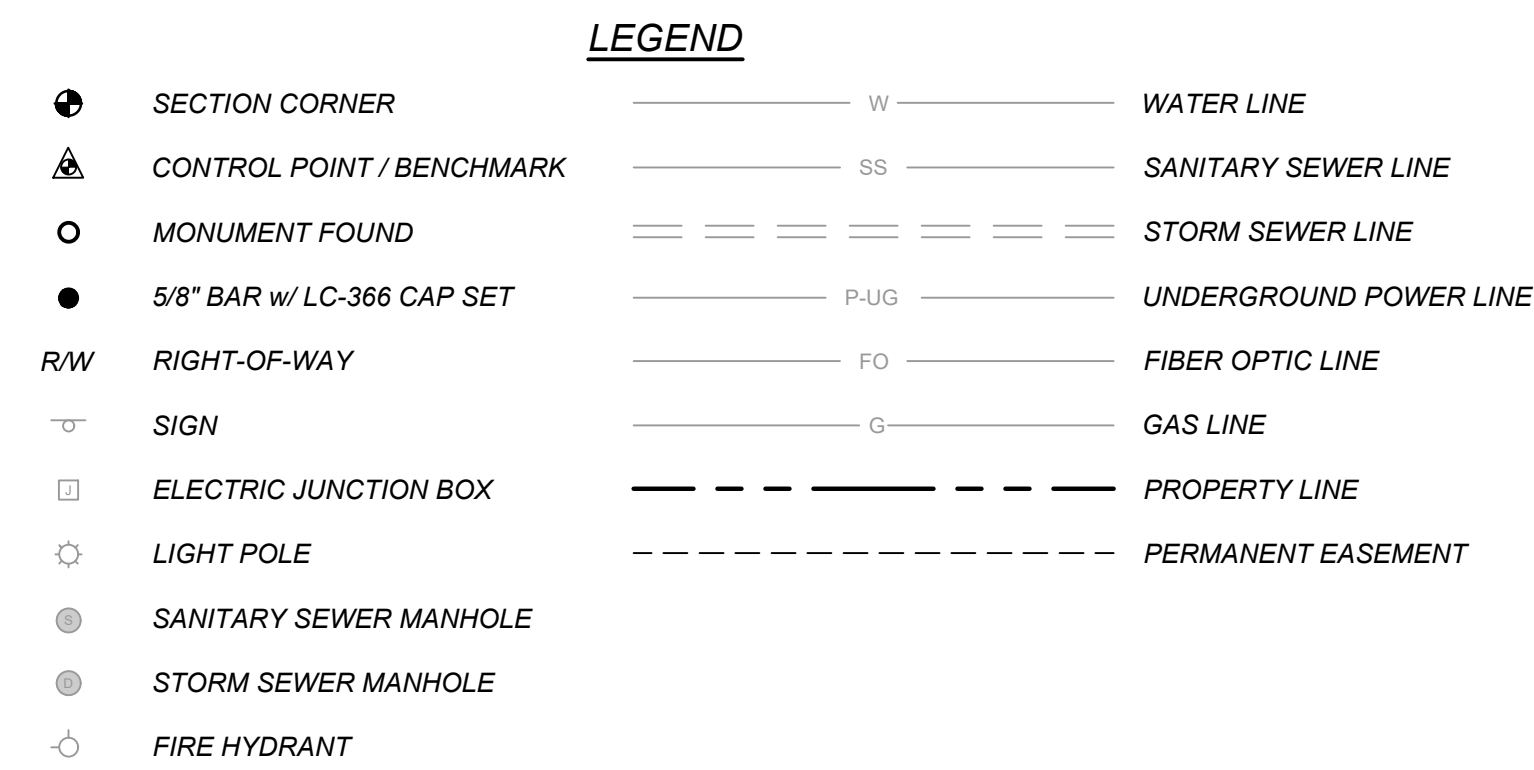
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THEIR OWN INVESTIGATIONS AND MAKING THEIR OWN ASSUMPTIONS REGARDING SITE SURFACE AND SUBSURFACE CONDITIONS. THIS INCLUDES THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES THAT MAY AFFECT THE ABILITY TO CONSTRUCT FROM THESE PLANS AS DESIGNED.
3. EXISTING CONDITIONS WERE DETERMINED THROUGH A VARIETY OF METHODS THAT MAY INCLUDE SURVEY, AERIAL IMAGERY, AVAILABLE RECORDS, GIS DATA, ETC. SUBSURFACE CONDITIONS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES AND OTHER SITE IMPROVEMENTS PRESENT ON SITE. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS WHEN CONFLICTS AND DISCREPANCIES ARE FOUND.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT-OF-WAY AND FOR DAMAGED IMPROVEMENTS. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE ORIGINAL OWNER'S DESIGN. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO REPAIR ALL EXISTING DISTURBED AREAS DURING GRADING ACTIVITIES TO ORIGINAL OR BETTER CONDITION.
5. THE CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITY NOTIFICATION CENTER FOR THE STATE THAT THE WORK IS BEING PERFORMED AND HAVE ALL THE UTILITIES MARKED AND PROVIDE NOTIFICATION OF THE COMMENCEMENT OF WORK.
6. ALL JOINTS WHERE NEW PAVEMENT ADJOINS EXISTING PAVEMENT SHALL BE SAW CUT, TO INSURE A STRAIGHT CLEAN LINE, OR WILL BE REPAIRED TO THE NEXT JOINT WHEN THE EXISTING PAVEMENT WILL BE LESS THAN HALF ORIGINAL WIDTH.


1. PRIOR TO ANY DEMOLITION EROSION CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE INSTALLED.
2. THE CONTRACTOR SHALL COORDINATE ALL ITEMS TO BE SALVAGED AND/OR PROTECTED WITH SITE OWNER AND UTILITY OWNERS.
3. THE CONTRACTOR SHALL NOT INTERRUPT ANY UTILITY SERVICES TO ANY ADJACENT PROPERTIES. SHOULD ANY INTERRUPTIONS BECOME NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY AND UTILITY OWNER AND MINIMIZE THE LENGTH OF TIME THE UTILITY IS INTERRUPTED TO THE GREATEST EXTENT POSSIBLE.
4. SECONDARY WIRING, SERVICES, IRRIGATION AND OTHER MINOR SITE IMPROVEMENTS THAT ARE NOT TO REMAIN IN SERVICE ARE TO BE DEMOLISHED AND REMOVED.
5. ALL PAVEMENT SAWCUTS ARE TO BE MADE IN STRAIGHT, CLEAN LINES LEAVING A CLEAN AND STABLE EDGE AT FULL PAVEMENT DEPTH.
6. ALL PCC PAVEMENT AND ALL CURB SHALL BE REMOVED TO NEAREST JOINT.
7. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN STRICT CONFORMANCE WITH LOCAL CODES AND ORDINANCES.
8. ALL TREE REMOVAL SHALL INCLUDE STUMPS AND ROOTS. DEPRESSIONS CREATED SHALL BE FILLED TO PROVIDE DRAINAGE.

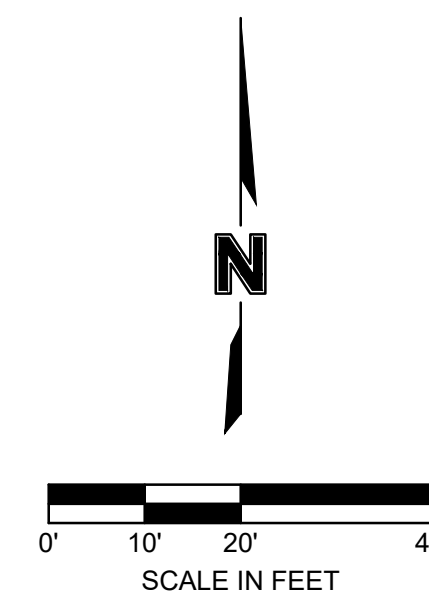
1. ALL PAVEMENT DIMENSIONS ARE TO BACK OF CURB, OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT, UNLESS OTHERWISE NOTED. DIMENSIONED TIES BETWEEN PROPERTY LINES AND BUILDING FACES OR PAVEMENT ARE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ANY ADJUSTMENTS NECESSARY FOR FOUNDATIONS, BEDDING EXTENSIONS, SURCHARGING, ETC.
2. INSTALLED PAVEMENT SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS. INSTALLED CURB & GUTTER SHALL MATCH EXISTING CURB & GUTTER IN SIZE AND TYPE OR CONTRACTOR SHALL INCLUDE A TRANSITION FROM NEW TO EXISTING OF NO LESS THAN 5' AS MEASURED ALONG BACK OF CURB.
3. ALL ASPHALT PAVING SHALL BE IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, WHERE NOT COVERED BY STATE LAW. ALL PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MISSOURI DEPARTMENT OF TRANSPORTATION.
4. ALL PCC PAVING SHALL BE IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, WHERE NOT COVERED BY THE ABOVE. PCC PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MISSOURI DEPARTMENT OF TRANSPORTATION.
5. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDWARE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):
 - A. CONTROL JOINTS SPACED AS SHOWN IN THESE PLANS OR AT INTERVALS NOT GREATER THAN 1.5X PANEL WIDTH OR 12 FEET (WHICHEVER IS SMALLER).
 - B. CONTROL JOINTS SHALL BE TOOLED OR SAWCUT TO 1/4 THE SLAB THICKNESS. LOCAL STANDARDS AND SPECIFICATIONS SHALL TAKE PRECEDENCE WHERE MORE STRICT THAN THOSE LISTED HERE.
 - C. CONSTRUCTION JOINTS PLACED AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.
 - D. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" WIDE POLYURETHANE BEAD, 1/4" POLYURETHANE FIBER-BOARD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.
 - E. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
6. CURB JOINTS SHALL BE CONSTRUCTED AS FOLLOWS:
 - A. PLACE 3/4" NON-EXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD AT 200' INTERVALS, AT BEGINNING AND END OF ALL RADII, AND AT STRUCTURES.
 - B. CONTRACTION JOINTS SPACED AT INTERVALS NOT GREATER THAN 10 FEET, SAWED TO 1/4 THE SLAB THICKNESS.
7. PAVEMENT MARKINGS SHALL NOT BE APPLIED UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT AND ENGINEER. THE INSTALLED PAVEMENT IS ALLOWED TO AGE AND BE COLORBODIED BY THE MANUFACTURER (MINIMUM OF 24 HOURS), AND THE PAVEMENT SURFACE HAS BEEN SWEEPED AND CLEANED.
8. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS (FHMS) AND CITY OF KANSAS CITY CODES AND ORDINANCES. USE FLAT BLACK, WHITE, OR YELLOW-OW AS DIRECTED WITHIN PLANS OR IN CONFORMANCE WITH THE FHMS. UNLESS OTHERWISE SPECIFIED USE LATEX, WATER-BASE EMULSION, READY-MIXED COMPLYING WITH FS TS-1192 WITH DRYING TIME OF LESS THAN 45 MINUTES.
9. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN AND A MINIMUM WET FILM THICKNESS OF 15 MILS. USE PNEUMATIC SPRAY GUNS FOR HAND-APPLIED MATERIAL. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.

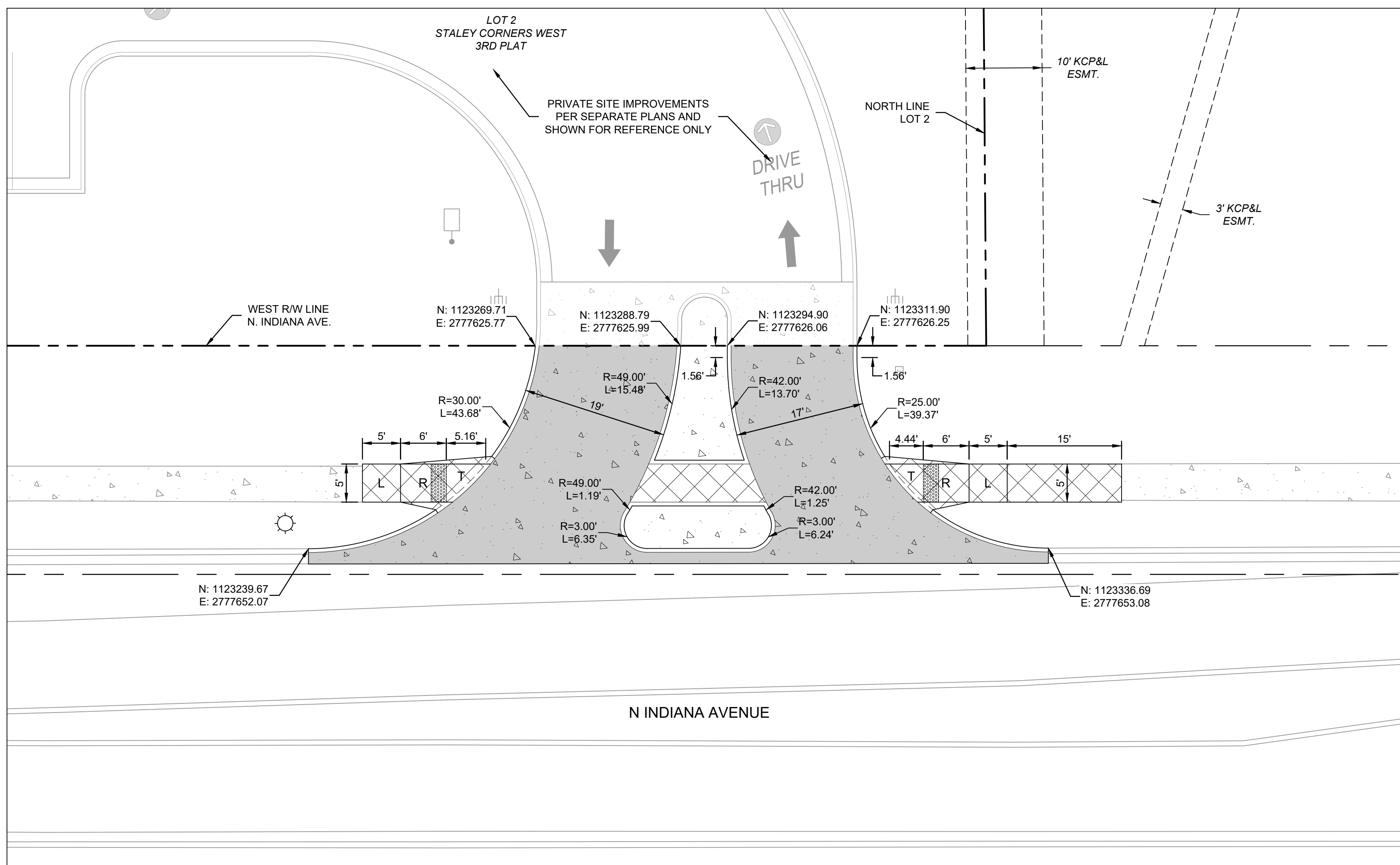
1. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
2. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
3. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
4. SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, TOP OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND)



















SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.






- | <u>KEYNOTE LEGEND</u> | |  |
|-----------------------|--|---|
| S1 | CONSTRUCT CONCRETE ENTRANCE PAVEMENT | |
| S2 | CONSTRUCT CONCRETE MEDIAN PAVEMENT | |
| S3 | CONSTRUCT TYPE CG-1 CURB & GUTTER | |
| S4 | CONSTRUCT TYPE C-1 CURB | |
| S5 | CONSTRUCT CONCRETE SIDEWALK | |
| S6 | CONSTRUCT CONCRETE SIDEWALK RAMP w/ DETECTABLE WARNING | |
| S7 | RELOCATED LIGHT POLE | |



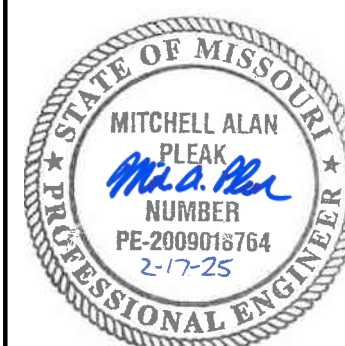
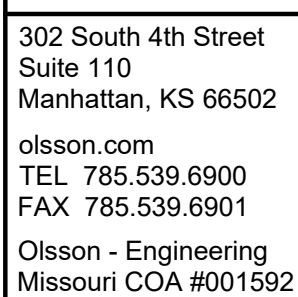


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|---|----------------------------|---|------------------------|
|  | SECTION CORNER |  | WATER LINE |
|  | CONTROL POINT / BENCHMARK |  | SANITARY SEWER LINE |
|  | MONUMENT FOUND |  | STORM SEWER LINE |
|  | 5/8" BAR w/ LC-366 CAP SET |  | UNDERGROUND POWER LINE |
| R/W | RIGHT-OF-WAY |  | FIBER OPTIC LINE |
|  | SIGN |  | GAS LINE |
|  | ELECTRIC JUNCTION BOX |  | PROPERTY LINE |
|  | LIGHT POLE |  | PERMANENT EASEMENT |
|  | SANITARY SEWER MANHOLE | | |
|  | STORM SEWER MANHOLE | | |
|  | FIRE HYDRANT | | |

PAVING LEGEND

- | | |
|---|----------------------------|
|  | CONCRETE ENTRANCE PAVEMENT |
|  | CONCRETE MEDIAN PAVEMENT |
|  | CONCRETE SIDEWALK |

- | | |
|---|--------------------|
| R | ACCESSIBLE RAMP |
| L | ACCESSIBLE LANDING |
| T | TRANSITION |



REV. NO.	DATE	DESCRIPTION	BY
	02.17.25	ISSUED FOR PERMIT REVIEW	AJK

DIMENSION PLAN PUBLIC IMPROVEMENT PLANS

McDONALD'S RESTAURANT
N. INDIANA AVENUE & NE 86TH STREET

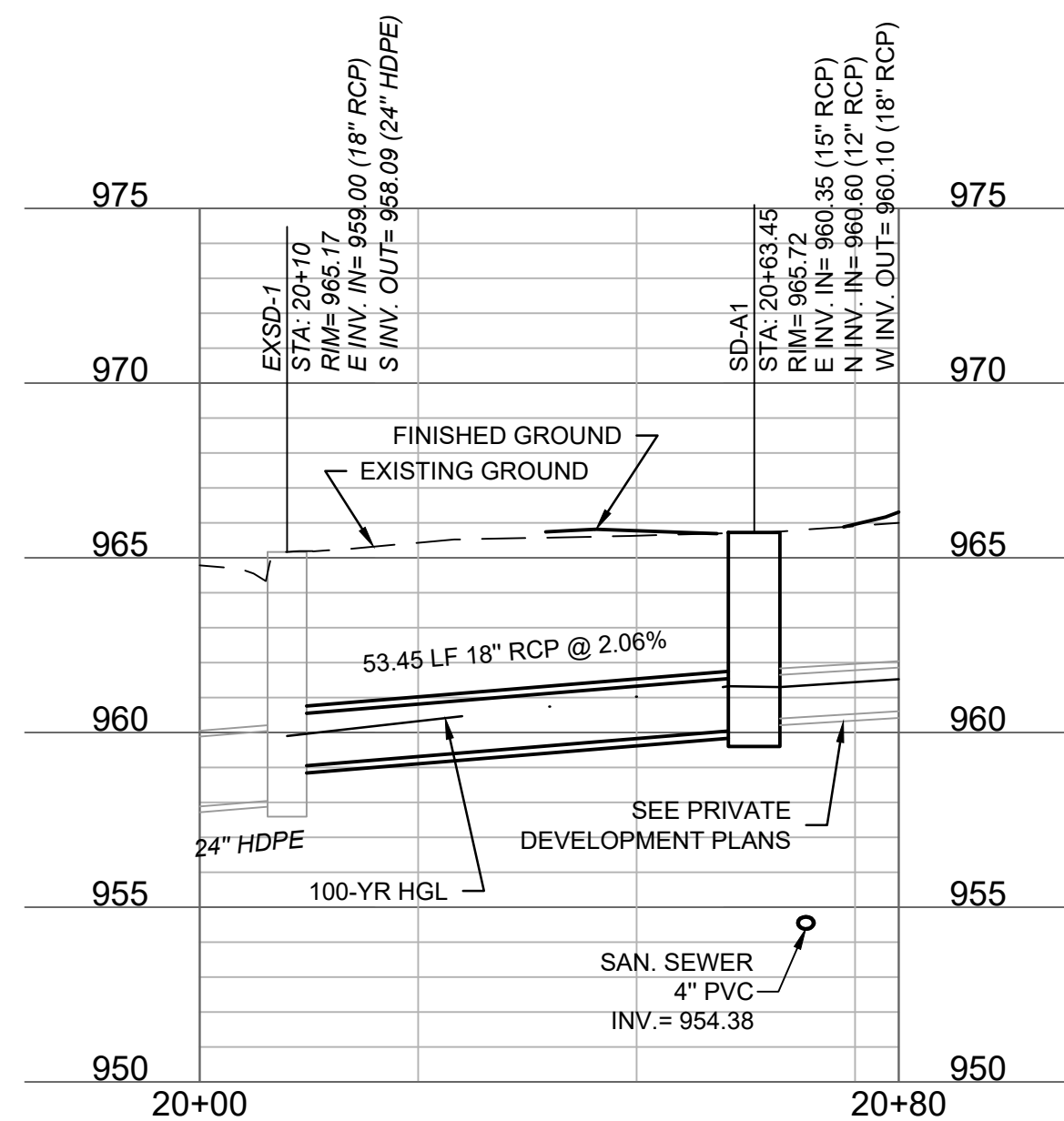
KANSAS CITY, MISSOURI

2024

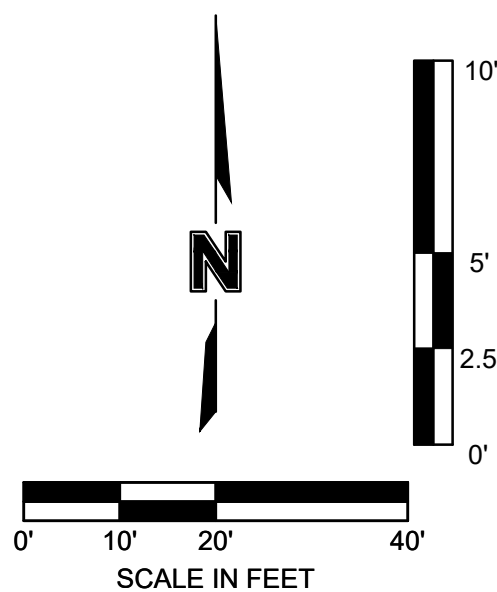
drawn by: _____ AJK
designed by: _____ AJK
project no.: _____ 023-06570
date: _____ 02.17.25

SHEET
CP104





1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH CITY OF KANSAS CITY, MISSOURI.
2. ALL PIPE LENGTHS AND ELEVATIONS ARE CALCULATED LINEARLY FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. COORDINATES PROVIDED ARE AT THE CENTER OF THE STRUCTURES ON JUNCTION BOXES AND THE BACK OF CURB AT THE CENTER OF STRUCTURE AT CURB INLETS. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING THE BOX DURING INSTALLATION.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF STORM SEWER.
5. STORM SEWER TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. STRUCTURE INVERT CHANNELS SHALL BE SMOOTH, CIRCULAR, AND CONFORMING TO ½ THE ADJACENT PIPE SECTION (INVERT TO CENTER). CHANGES IN DIRECTION OF FLOW SHALL BE MADE WITH A SMOOTH CURVE AND MAINTAIN SHAPE THROUGHOUT. CHANGES IN GRADE OF ADJACENT PIPES SHALL BE TRANSITIONED SMOOTHLY AND EVENLY THROUGH THE STRUCTURE.
7. PIPE PENETRATIONS SHALL BE GROUTED TO ENSURE WATERTIGHT SEALS.
8. REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE MANUFACTURED IN ACCORDANCE WITH THE PROVISIONS OF A.S.T.M. C-76 AND SHALL BE CLASS III, UNLESS OTHERWISE NOTED. MASTIC JOINTS ARE REQUIRED ON ALL PIPE SHAPES.



STORM SEWER PLAN & PROFILE PUBLIC IMPROVEMENT PLANS				BY	
McDONALD'S RESTAURANT N. INDIANA AVENUE & NE 86TH STREET				DATE	DESCRIPTION
KANSAS CITY, MISSOURI				REV. NO.	ISSUED FOR PERMIT REVIEW
2024				02.17.25	A/JK
REVISIONS					

drawn by: _____ A/JK
 designed by: _____ A/JK
 project no.: _____ 023-06570
 date: _____ 02.17.25

SHEET

CP106

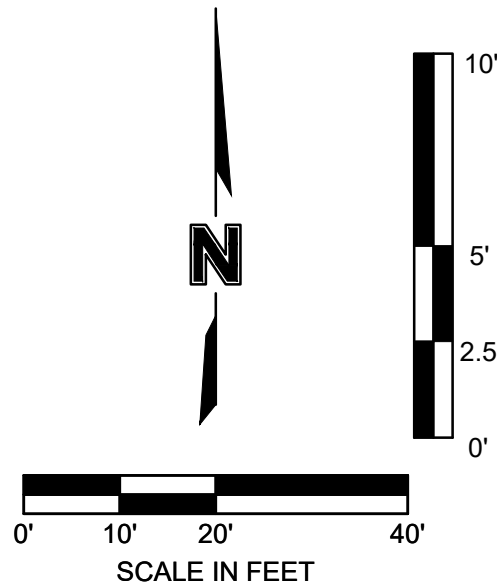
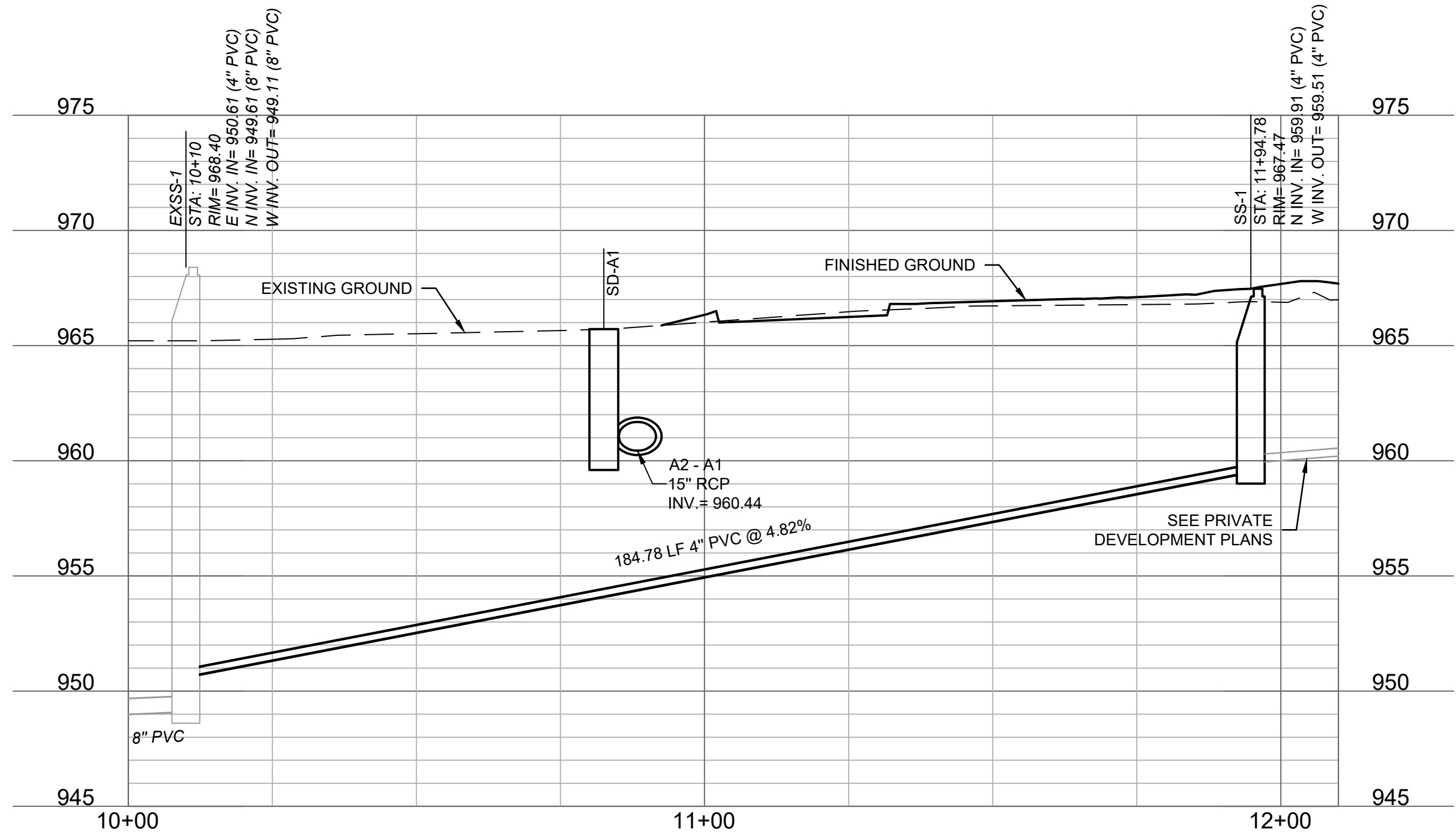
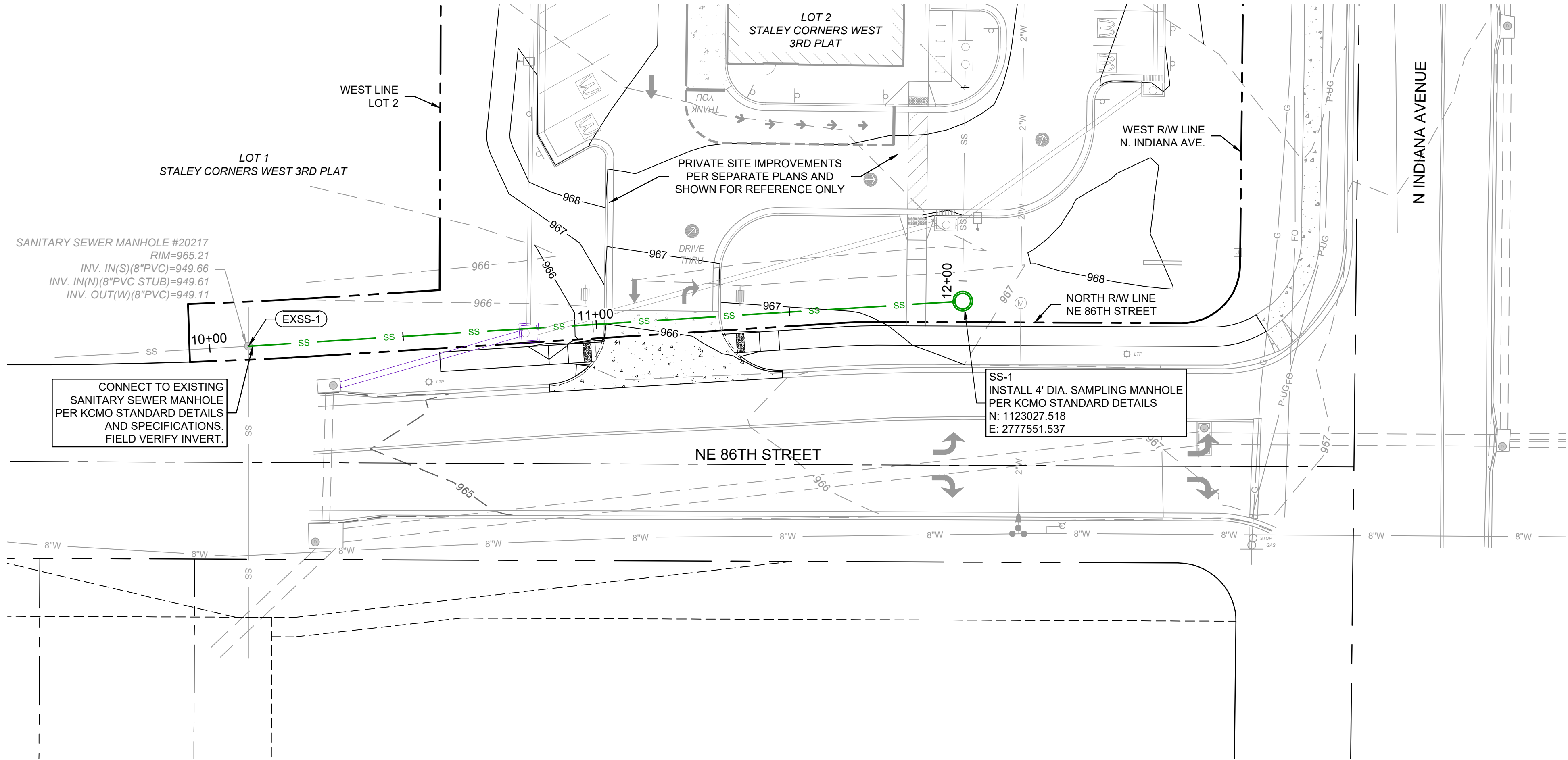
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SANITARY SEWER PLAN NOTES

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH CITY OF KANSAS CITY, MISSOURI.
2. ALL PIPE LENGTHS ARE CALCULATED LINEARLY FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. COORDINATES ARE PROVIDED AT THE CENTER OF STRUCTURE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING THE LID DURING INSTALLATION.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF SANITARY SEWER.
5. SANITARY SEWER TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. MANHOLE INVERT CHANNELS SHALL BE SMOOTH, CIRCULAR, AND CONFORMING TO 1/2 THE ADJACENT PIPE SECTION (INVERT TO CENTER). CHANGES IN DIRECTION OF FLOW SHALL BE MADE WITH A SMOOTH CURVE AND MAINTAIN SHAPE THROUGHOUT. CHANGES IN GRADE OF ADJACENT PIPES SHALL BE TRANSITIONED SMOOTHLY AND EVENLY THROUGH THE MANHOLE.
7. PIPE PENETRATIONS SHALL BE USE GASKETS TO ENSURE WATERTIGHT SEALS.
8. TRACING TAPE SHALL BE INSTALLED ALONG ALL NON-METALLIC SURFACES OR AS DIRECTED BY LOCAL CODES AND ORDINANCES.
9. SEWER LINE INSPECTIONS AND TESTING MUST BE SCHEDULED A MINIMUM OF TWO FULL BUSINESS DAYS IN ADVANCE. CONTRACTOR SHALL FURNISH ALL TESTING EQUIPMENT. TESTING SHALL INCLUDE
 - A. MANDREL TEST OF ALL GRAVITY SEWERS. IF THE MANDREL TEST FAILS ON ANY SECTION OF PIPE, THAT SECTION SHALL BE UNCOVERED AND REPLACED.
 - B. AIR PRESSURE TEST OF ALL GRAVITY SEWERS.
 - C. VACUUM TEST OF ALL MANHOLES.
10. GRAVITY SANITARY SEWER AND WATER LINES SHALL BE SEPARATED BY A MINIMUM OF 10' HORIZONTALLY WHEN PARALLEL AND 2' VERTICALLY WHEN CROSSING. WATER LINES SHALL CROSS ABOVE SANITARY SEWERS.

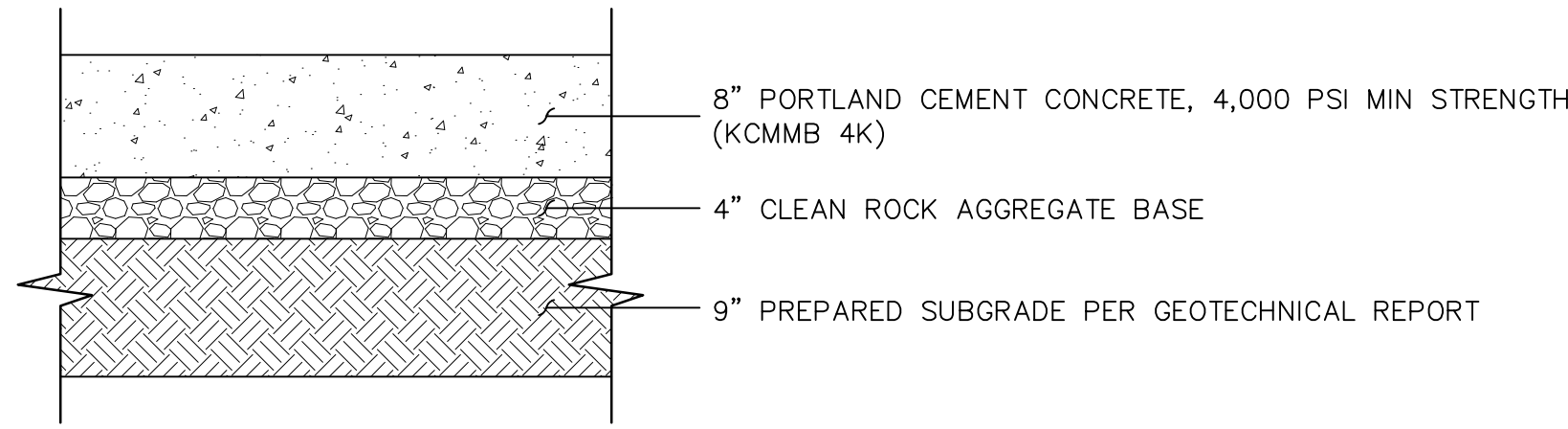
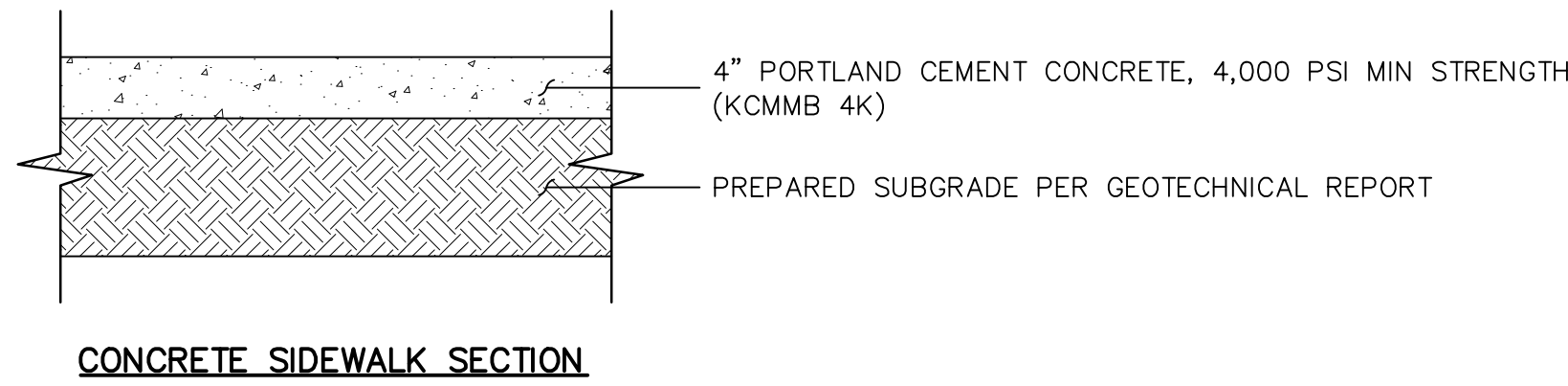
drawn by: _____ A/JK		REV NO.	DATE	DESCRIPTION	BY
designed by: _____ A/JK					
project no.: _____ 023-06570					
date: _____ 02.17.25					
SANITARY SEWER PLAN & PROFILE PUBLIC IMPROVEMENT PLANS					
McDONALD'S RESTAURANT N. INDIANA AVENUE & NE 86TH STREET					
KANSAS CITY, MISSOURI		2024			
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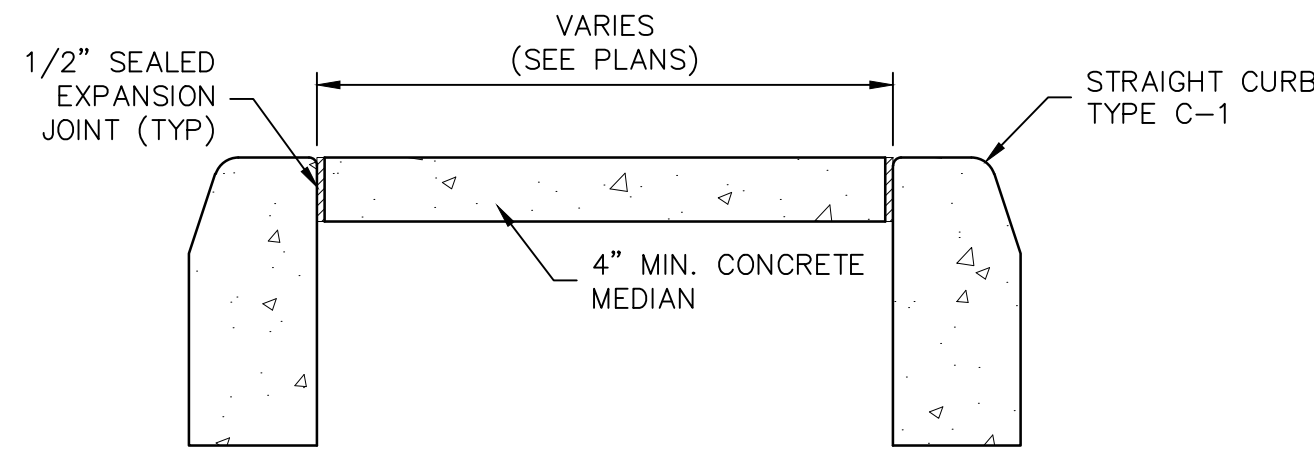
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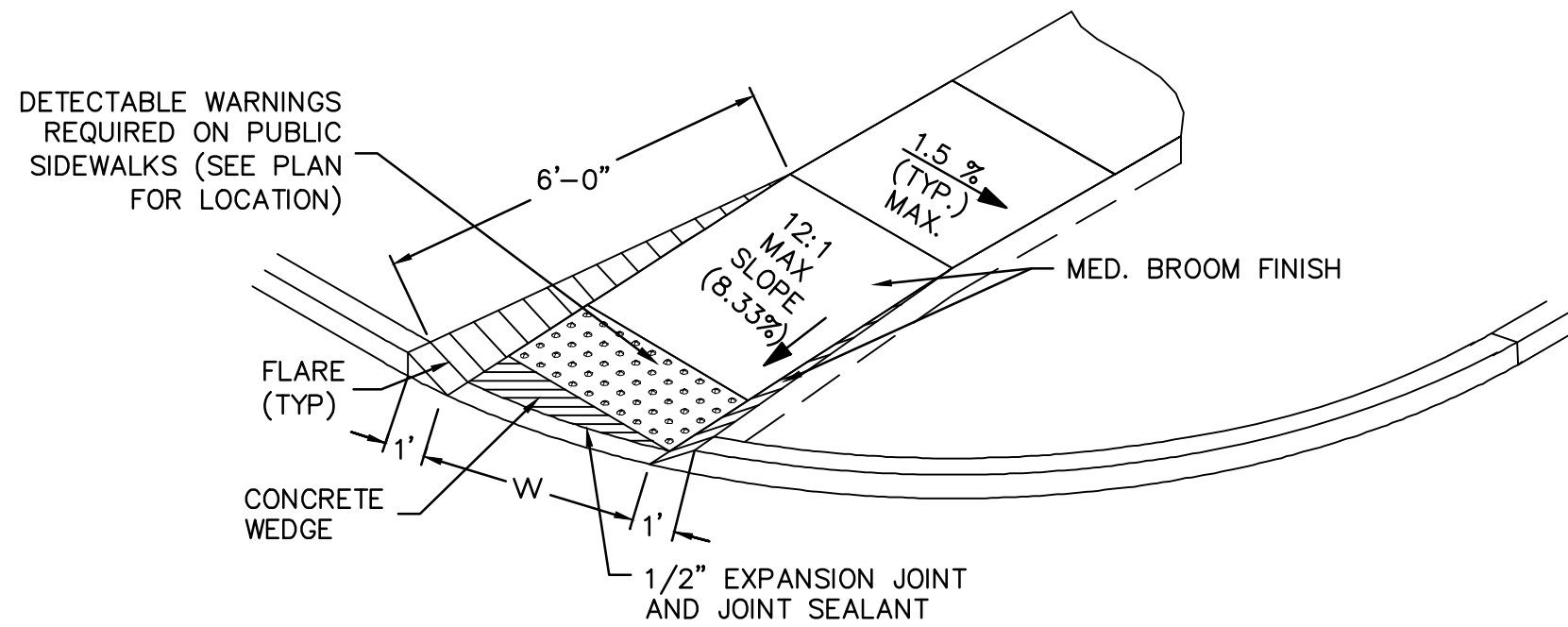


NOTE:
ALL CONSTRUCTION, SITE PREPARATION, GRADING, AND EXCAVATION PROCEDURES SHALL CONFORM TO RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY OLSSON, PROJECT #023-06570, DATED AUGUST 5, 2024, AND ALL ADDENDUMS. CONTRACTOR SHALL CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS BASED ON ACTUAL SITE CONDITIONS.

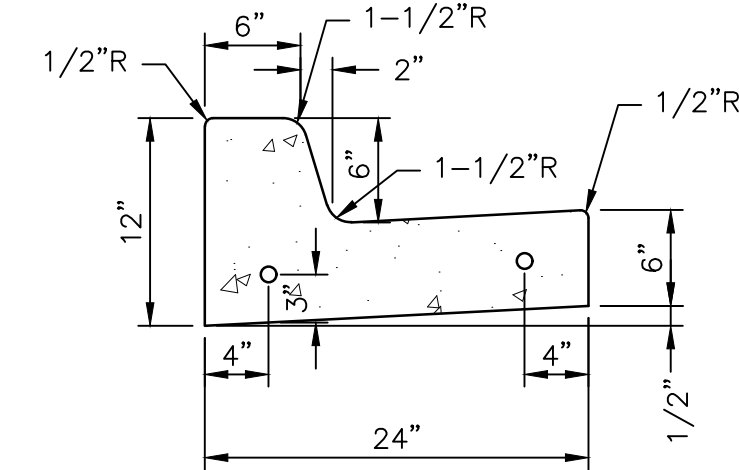
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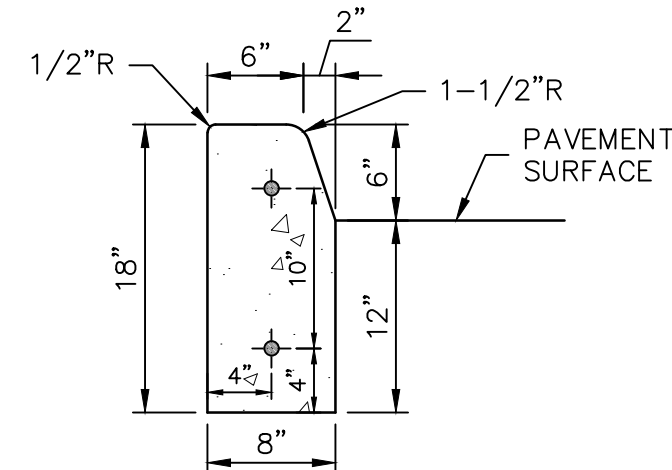
CONCRETE MEDIAN
NOT TO SCALE



PERPENDICULAR CURB RAMP
NOT TO SCALE



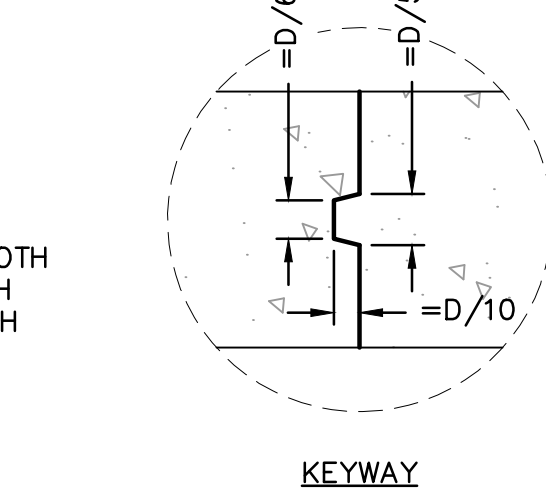
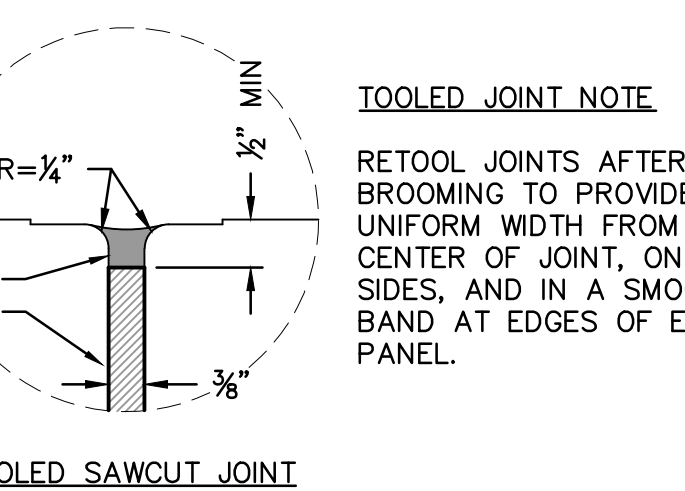
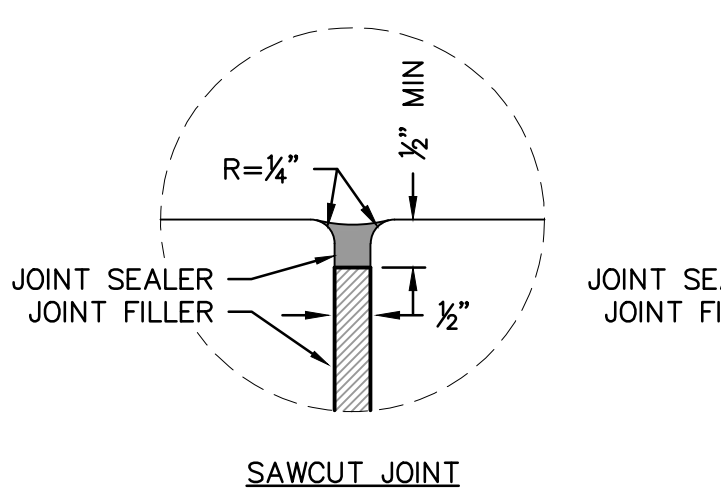
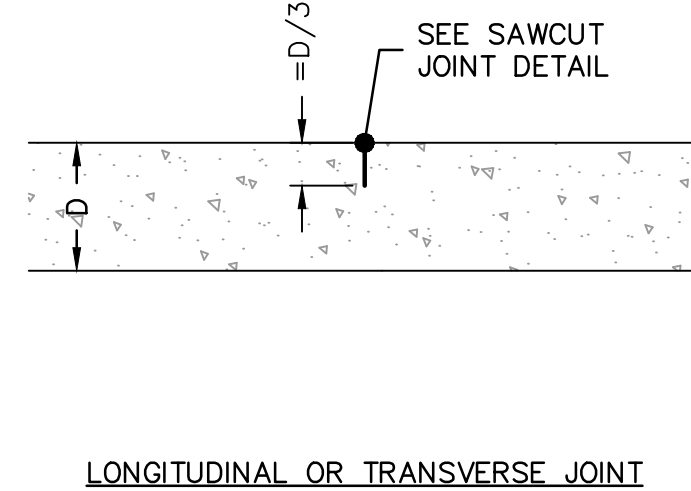
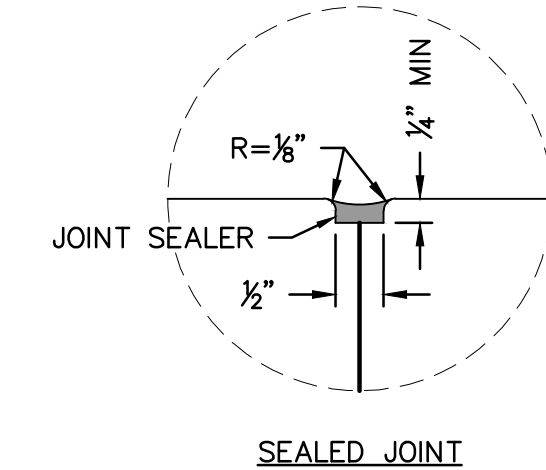
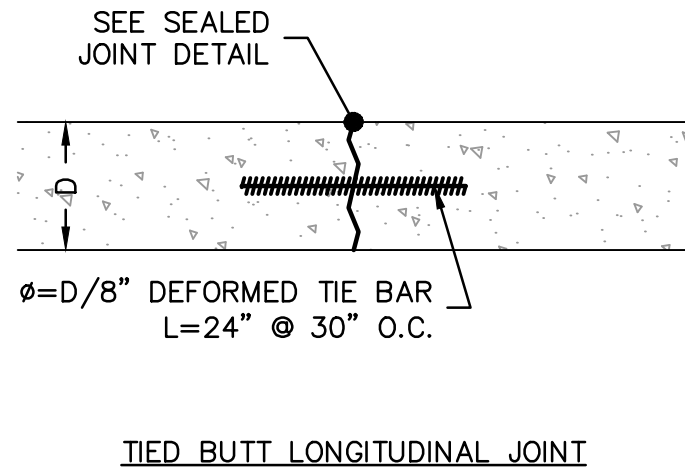
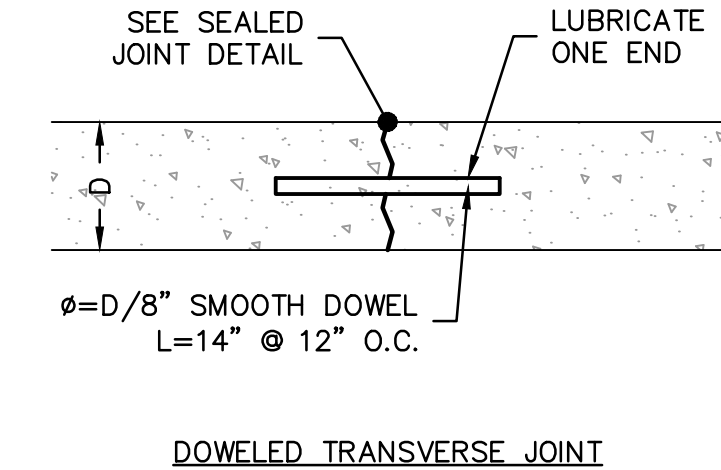
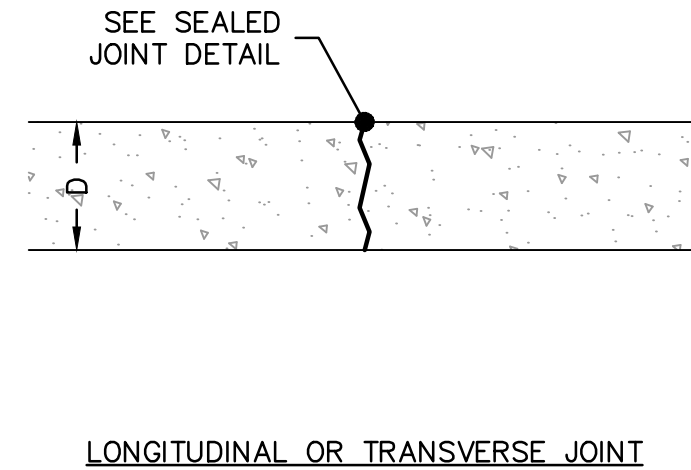
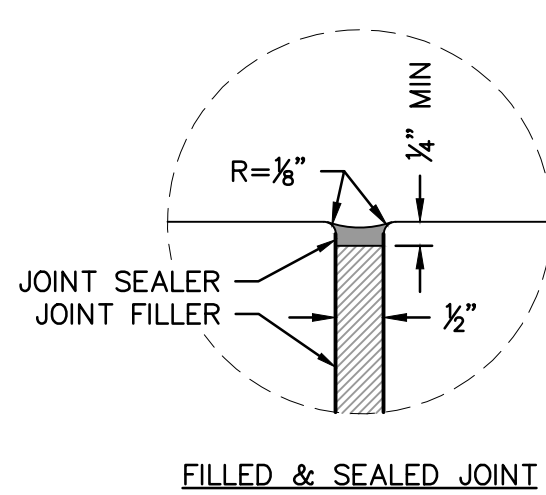
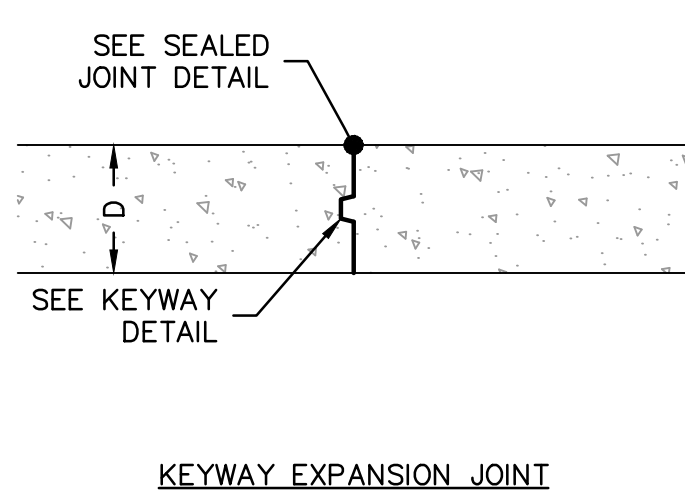
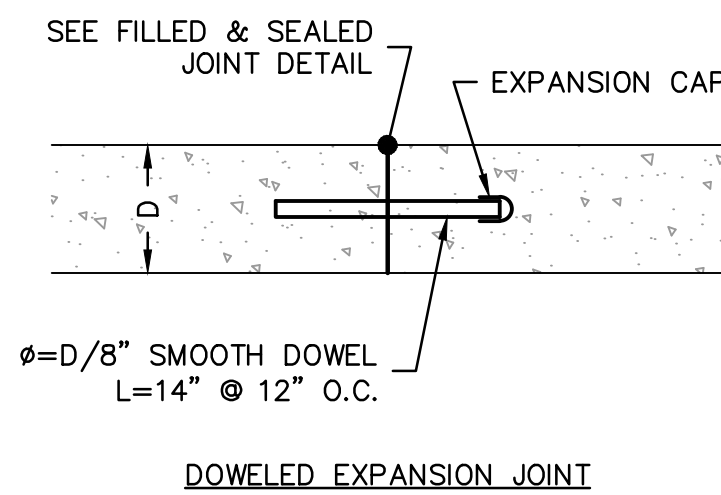
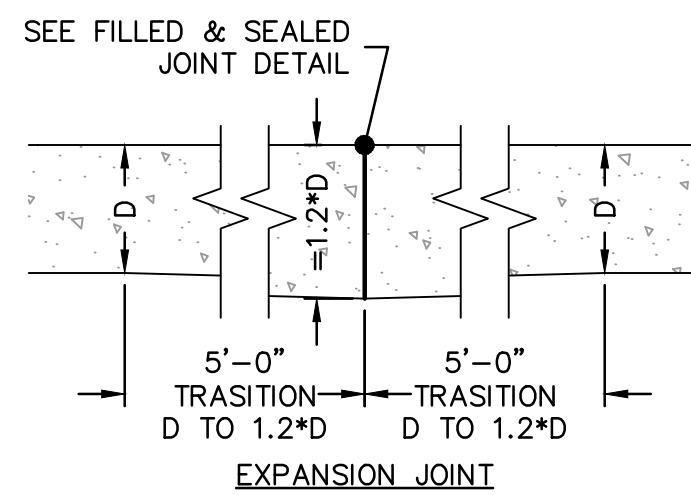
STRAIGHT BACK CURB & GUTTER
TYPE CG-1
NOT TO SCALE



STRAIGHT CURB (TYPE C-1)
NOT TO SCALE

NOTES:

- 1/2" EXPANSION JOINTS WITH 2' DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 1" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- FIX DOWEL BARS WITH BAR SUPPORTS.
- DEPTH OF CURB SHALL BE A MINIMUM OF 8" THROUGH HANDICAP ACCESS RAMP.



TOOLED JOINT NOTE
RETOOL JOINTS AFTER BROOMING TO PROVIDE UNIFORM WIDTH FROM CENTER OF JOINT, ON BOTH SIDES, AND IN A SMOOTH BAND AT EDGES OF EACH PANEL.

CONCRETE JOINT DETAILS
NOT TO SCALE

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STATE OF MISSOURI
MITCHELL ALAN
PEAK
NUMBER
PE-2009016764
2-17-25
PROFESSIONAL ENGINEER

BY
AJK
DESCRIPTION
ISSUED FOR PERMIT REVIEW
DATE
02.17.25
REV. NO.
1

REVISIONS

DETAILS
PUBLIC IMPROVEMENT PLANS
McDONALD'S RESTAURANT
N. INDIANA AVENUE & NE 86TH STREET
KANSAS CITY, MISSOURI

2024

drawn by: AJK
designed by: AJK
project no.: 023-06570
date: 02.17.25

SHEET
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